



## Planning Commission & Board of Adjustment

Pea Ridge City Hall  
975 Weston Street  
July 1, 2025  
6:00 p.m.

- I. Call to Order**
- II. Roll Call**
- III. Review Minutes**
  - 1. June 3<sup>rd</sup>, 2025, Planning Commission Meeting
- IV. Announcements**
- V. Public Hearings**
  - 1. Patterson – Rezone  
494 South Davis Street  
R-1, Low Density Residential & A, Agriculture to R-2, Medium Density Residential
  - 2. PRBD, LLC – Rezone  
1838 West Pickens Road  
R-2, Medium Density Residential to C-2, General Commercial
- VI. Old Business**
- VII. New Business**
  - 1. PRBD – Large Scale Development  
1838 West Pickens Road
  - 2. Jameson Place – Large Scale Development  
Slack Street & Manfield Avenue
- VIII. Board of Adjustments**
- IX. Adjourn**

**Planning Commission  
Board of Adjustment  
June 3, 2025  
6:00 p.m.**

**1. Call to Order**

The June 3, 2025, Pea Ridge Planning Commission meeting was called to order by Vice-Chairperson Dr. Karen Sherman.

**2. Roll Call**

Roll:

Chairperson Michael Wilhelm	Present
Vice Chairperson Dr. Karen Sherman	Present
Commissioner Carolyne Wendel	Present
Commissioner Juan Arriola	Present
Commissioner Shelia Wilkerson	Present
Commissioner Sean Rooney	Present
Commissioner Adam Stokes	Present

**3. Review Minutes from May 6, 2025, Planning Commission Meeting.**

Commissioner Wendel motioned to approve the May 6, 2025, Planning Commission minutes as presented.

Commissioner Wilkerson seconded the motion.

Votes:

Chairperson Michael Wilhelm	Absent
Vice Chairperson Dr. Karen Sherman	Yes
Commissioner Carolyne Wendel	Yes
Commissioner Juan Arriola	Yes
Commissioner Sean Rooney	Yes
Commissioner Adam Stokes	Yes
Commissioner Shelia Wilkerson	Yes

**The motion to approve passed 6 in favor with 1 absent.**

**4. Announcements**

Mr. Keegan Stanton stated there were no announcements.

**5. Public Hearing**

There were no public hearing items.

**6. Discussion**

Mr. Stanton led a discussion with the Commission on the latest proposed updates to the Future Land Use Map and Master Street Plan.

Chairperson Wilhelm joined the meeting during the discussion.

**7. Adjourn**

Commissioner Wilkerson moved to adjourn.

Vice Chairperson Dr. Sherman seconded the motion.

**All in favor.**

**The motion to adjourn passed unanimously.**

**Respectfully submitted by:**

**Approved by:**

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**Keegan Stanton, AICP**  
**Planning Director**

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**Michael Wilhelm**  
**Chairperson**





## STAFF REPORT

### Patterson Rezone

Location:	494 South Davis Street
Current Zoning:	R-1, Low Density Residential; A, Agriculture
Land Use Designation:	Residential Estate
Proposed Zone:	R-2, Medium Density Residential
Owner/Applicant:	Jimmy Wayne Patterson/Jesse Fulcher
Property size:	+/- 6 acres

**Request:** Jimmy Wayne Patterson/Jesse Fulcher are requesting to rezone their property from R-1, Low Density Residential & A, Agriculture to R-2, Medium Density Residential.

**Vicinity Map** (illustrative only):





## **Property Description**

The subject property is located at 494 South Davis Street, being parcel numbers 13-00007-000 and 13-00006-000. The property is presently zoned both R-1, Low Density Residential and A, Agriculture, with a Future Land Use designation of RE, Residential Estate. Adjacent zoning districts include R-1, Low Density Residential to the west, RE, Residential Estate to the south and west, A, Agriculture to the north, and unincorporated Benton County to the east. Adjacent land use designations include Residential Estate to the south and west, Residential Subdivision to the west, and Mixed Use Commercial to the north. The property is presently occupied by a residence. This property has direct access to South Davis Street.

## **Relationship to the Comprehensive Land Use Plan**

The proposed rezoning would meet several of the recommendations out of Section II & III of the Comprehensive Land Use Plan, including:

1. Providing quality housing at low and medium densities
2. Developing housing accessible by an adequate street system
3. Protecting residential areas from incompatible land uses

This request is consistent with the Future Land Use Map, which designates this property as Residential Estate.

## **Analysis & Recommendation**

This request meets several of the recommendations of the Comprehensive Land Use Plan. The Residential Estate land use is intended to allow a mix of lot sizes, which is possible under the R-2 zoning district.

This part of Davis Street as well as the surrounding neighborhood, while presently on the edges of Pea Ridge, will likely continue to see development pressure as its location is near existing state highways, an established commercial presence, and is locally well-connected.

Given the generally compatible location, general consistency with the Comprehensive Land Use Plan, and consistency with the Future Land Use Map, staff recommends approval of this rezoning request.

## **Supplemental Information**

Use Definitions: Ch. 14.04.05 District Regulations

R-1, Low Density Residential. The purpose of this district is to accommodate single-family residential uses on generously sized residential lots of at least 12,000 square feet. This zone is generally applied on the built-up areas of the city, where public sanitary sewer is available, and may act as a buffer to RE and R-2 zones.

R-2, Medium Density Residential. This district is intended to accommodate single-family residential uses on moderately sized, medium density lots of at least 8000 square feet. This is the smallest lot size for areas that are exclusively for single-family purposes, and the availability of public sanitary sewer shall be a requirement for R-2 zoning.

A, Agriculture District. The purpose of this district is to provide for a very low-density single-family district, while helping preserve existing agricultural resources, and to guide the conversion of these lands to higher density residential use when appropriate. Agricultural areas should be protected for

development by appropriate standards until they are well served by public facilities and services that will permit higher density residential development.

#### Future Land Use Categories:

Residential Estate (RE): These areas include low-density estate subdivision lots as well as larger tracts of land that have no uniform development pattern. This area will have a range of housing types and lot sizes but will typically be lots larger than 1 acre in size.



May 19, 2025

Keegan Stanton, AICP  
City of Pea Ridge

Please accept this request to rezone approximately 6.09 acres from A-1/R-1 to R-2, to allow for the development of a residential subdivision, located at 494 S. Davis Street.

Sincerely,

A handwritten signature in black ink, appearing to read "Jesse Fulcher", with a stylized flourish at the end.

Jesse Fulcher



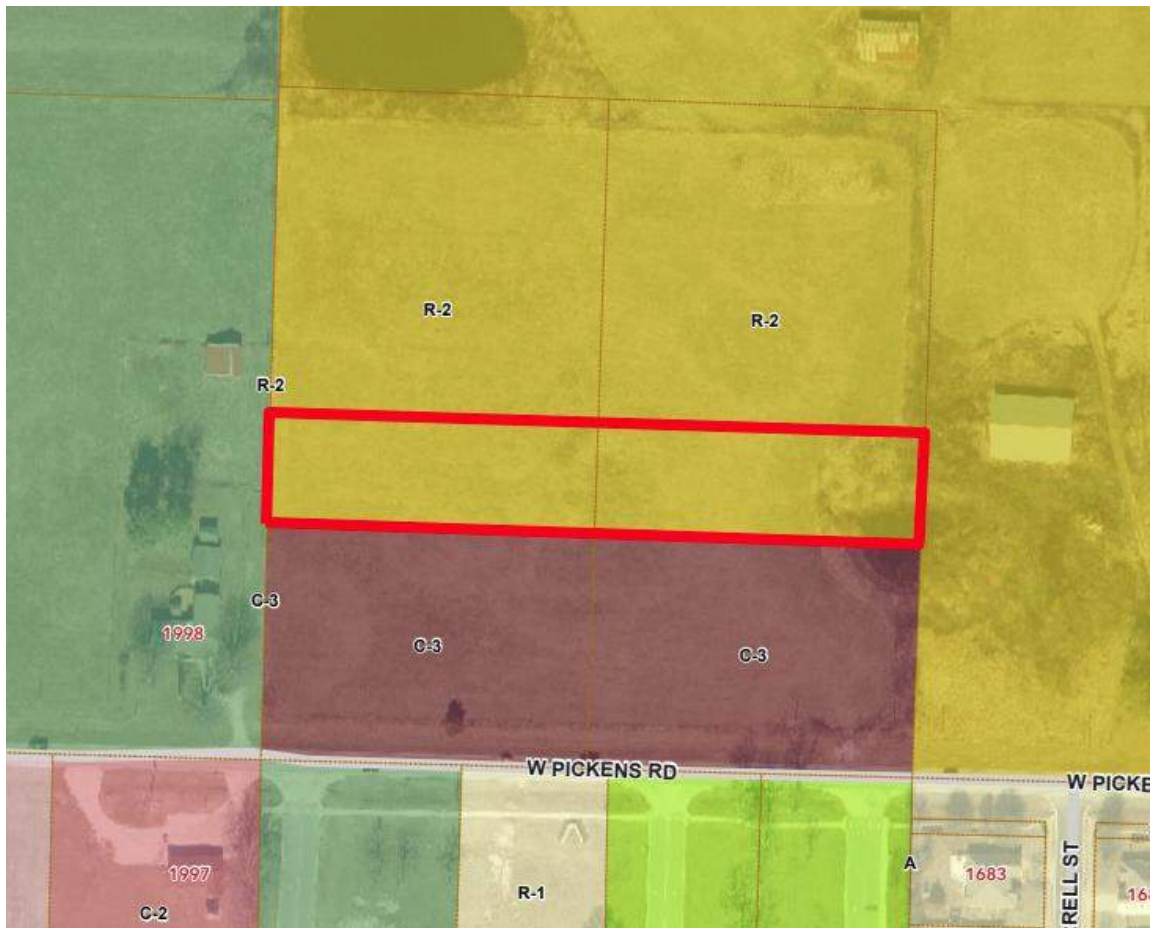
## STAFF REPORT

### PRBD, LLC Rezone

Location:	1838 West Pickens Avenue
Current Zoning:	R-2, Medium Density Residential
Land Use Designation:	Neighborhood Node
Proposed Zone:	C-2, General Commercial
Owner/Applicant:	PRBD, LLC/Bates & Associates
Property size:	+/- 9.97 acres

**Request:** PRBD, LLC/Bates & Associates are requesting to rezone their property from R-2, Medium Density Residential to C-2, General Commercial.

**Vicinity Map** (illustrative only):



## **Property Description**

The subject property is located at 1838 West Pickens Avenue, being a portion of parcel numbers 13-00183-096 and 13-00183-097. The property is presently zoned both R-2, Medium Density Residential, and C-3, General Commercial (treated as C-2 following conversion), with a Future Land Use designation of NN, Neighborhood Node. Adjacent zoning districts include R-2, Medium Density Residential to the north and east, C-3, General Commercial on the south, and A, Agriculture on the west. Adjacent land use designations include Neighborhood Node to the west, Residential Subdivision to the north and east, and Institutional to the south. The property is presently vacant. This property has direct access to West Pickens Road.

The request is to rezone only a portion of the existing property, not the entirety of it. An additional 110' extending north from the existing northern boundary of C-3 is included in this request. The remainder of the property to the north will remain R-2.

## **Relationship to the Comprehensive Land Use Plan**

The proposed rezoning would meet several of the recommendations out of Section II & III of the Comprehensive Land Use Plan, including:

1. Grouping commercial services to provide economical operation of businesses and be convenient to the community.
2. Providing accessible, convenient, and attractive business locations.
3. Appropriate mixing of commercial development.

This request is consistent with the Future Land Use Map, which designates this property as Neighborhood Node.

## **Analysis & Recommendation**

This request meets several of the recommendations of the Comprehensive Land Use Plan. Neighborhood Node land use intends for a mix of residential and commercial uses, which can be accomplished with both C-2 and R-2 zoning on the property. It also recommends commercial uses be centered at key intersections, which is found further to the west, as well as the intersection of the high school and Pickens.

This part of Pickens is beginning to see additional development pressure as the residential subdivision growth north of Pickens continues. More rooftops can lead to a market that can support commercial uses. The location across from the high school is also strategic in that it may allow students and others that commute to the high school to combine trips to the commercial uses that will exist nearby, lessening the overall traffic within Pea Ridge.

Given the generally compatible location, general consistency with the Comprehensive Land Use Plan, and consistency with the Future Land Use Map, staff recommends approval of this rezoning request.

## **Supplemental Information**

Use Definitions: Ch. 14.04.05 District Regulations

R-2, Medium Density Residential. This district is intended to accommodate single-family residential uses on moderately sized, medium density lots of at least 8000 square feet. This is the smallest lot

size for areas that are exclusively for single-family purposes, and the availability of public sanitary sewer shall be a requirement for R-2 zoning.

C-2, General Commercial. This purpose of this district is to provide appropriate locations for commercial and retail uses that are convenient and serve the needs of the public. This district also provides locations for limited amounts of merchandise, equipment, and material being offered for retail sale that are more suitable for storage and display outside the confines of an enclosed structure. Appropriate locations for this district are generally along heavily traveled arterial streets, where convenient access and high visibility exist. However, development of groupings of facilities shall be encouraged in the future, as opposed to less desirable strip commercial.

#### Future Land Use Categories:

Neighborhood Node (NN): Neighborhood Nodes are areas with mixed use and small scale commercial uses that are centered at important intersections to provide areas of services and retail for multiple neighborhoods, connected with pedestrian access. The buildings are situated near the street and have limited parking in the front of the structure.



May 19<sup>th</sup>, 2025

City of Pea Ridge  
975 Weston Street  
Pea Ridge, AR 72751

**Re: PRBD**

To whom it may concern,

We are proposing commercial development with associated green spaces, utilities, detention, and drives. The current zoning of the property is C-2 and R-2. We are requesting that part of the R-2 to be rezoned to C-2 – essentially moving the zoning line further north by roughly 110'. This zoning relates to the future land use map of *Neighborhood Node* and keeps in line with how the property is currently zoned. Below is the description of the Neighborhood Node.

“Neighborhood Nodes are areas with mixed use and small-scale commercial uses that are centered at important intersections to provide areas of services and retail for multiple neighborhoods, connected with pedestrian access. The buildings are situated near the street and have limited parking in the front of the structure.”

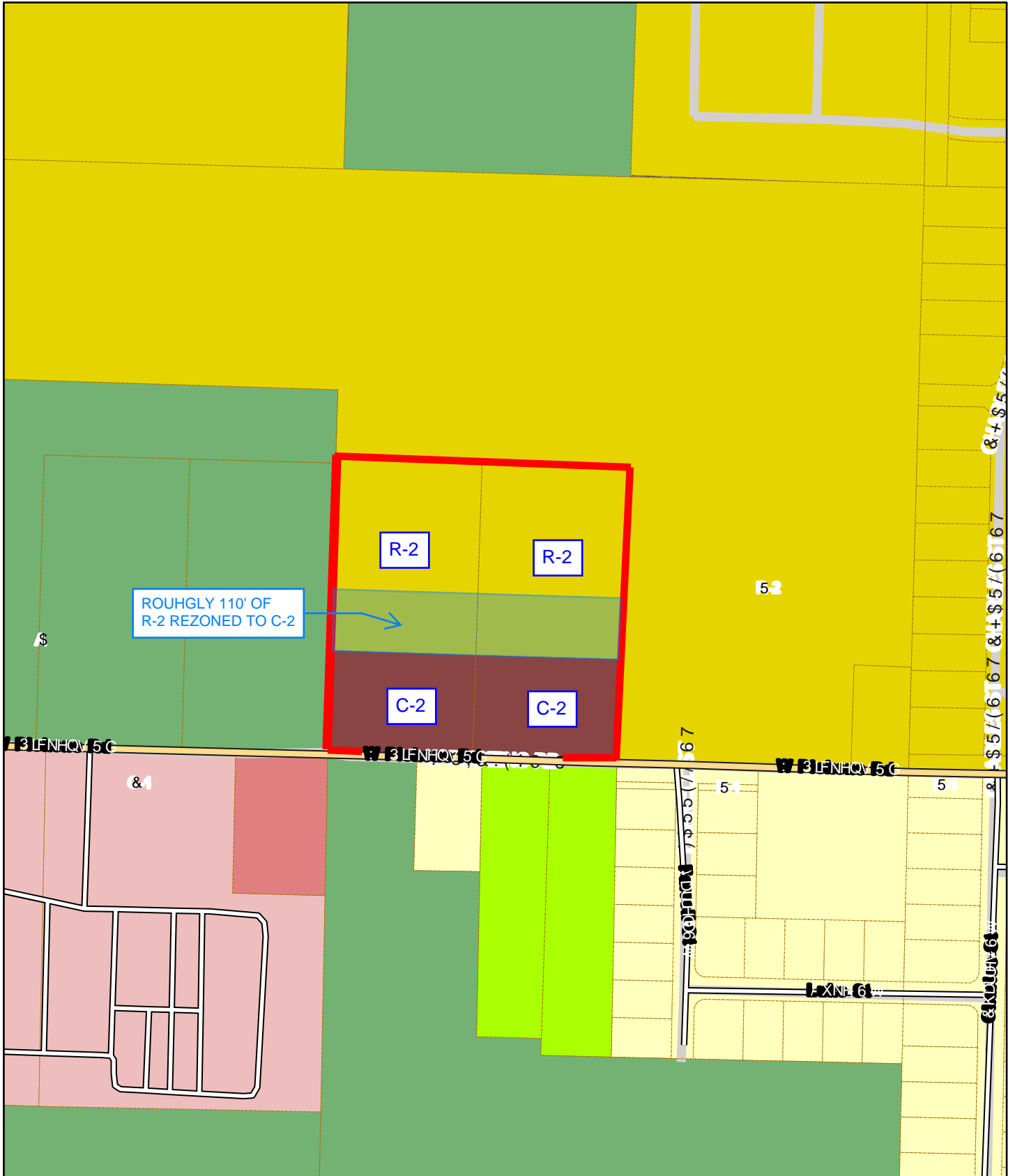
Sincerely,  
**Bates & Associates, Inc**

A handwritten signature in blue ink that reads 'Geoffrey Bates'.

Geoffrey H. Bates, P.E.



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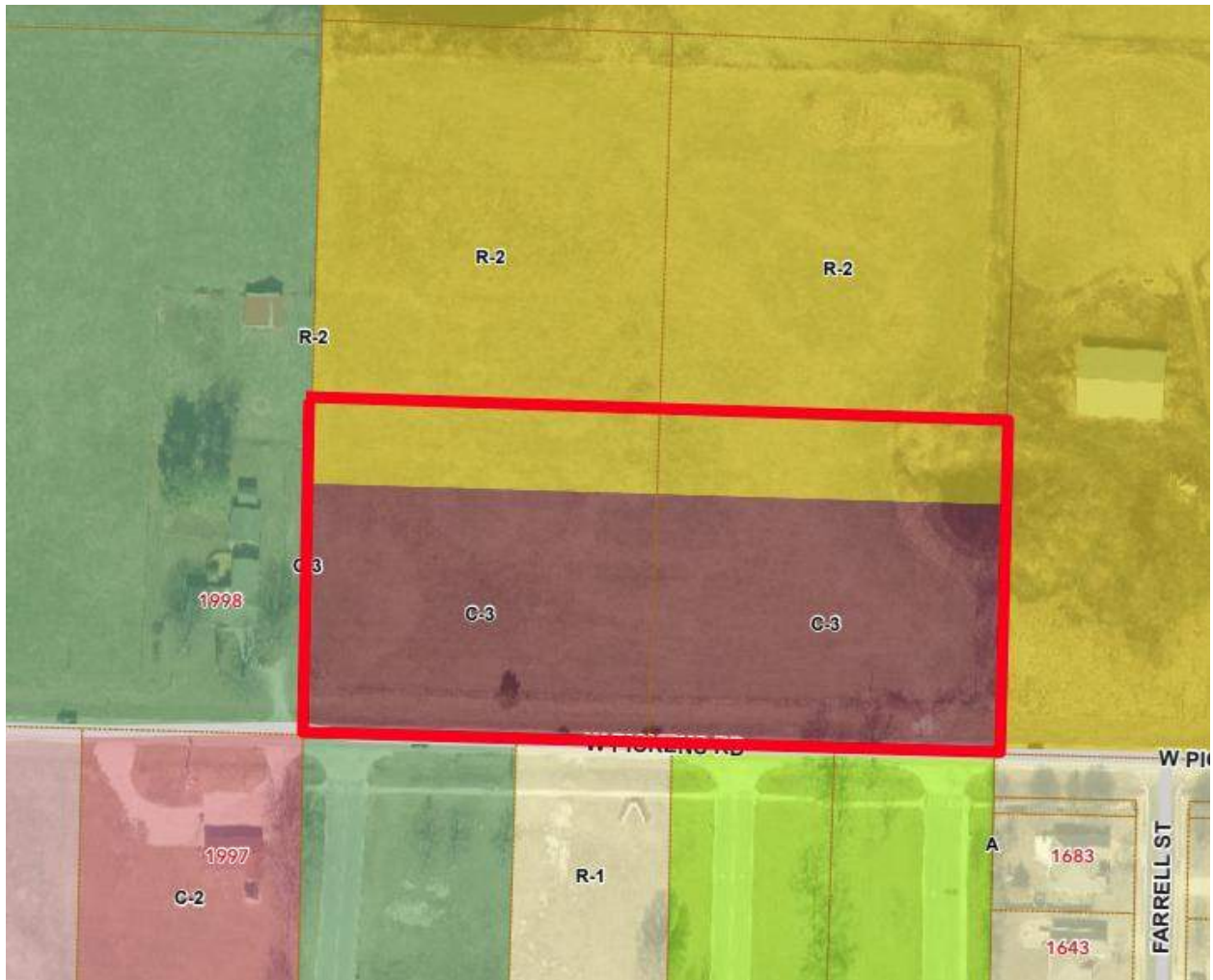


## STAFF REPORT

### PRBD Large Scale Development

Location:	1838 West Pickens Avenue
Current Zoning:	C-2, General Commercial
Land Use Designation:	Neighborhood Node
Owner/Applicant:	PRBD, LLC/Bates & Associates

Vicinity Map (illustrative only):



#### Property Description

The subject property is located at 1838 West Pickens Avenue, being a portion of parcel numbers 13-00183-096 and 13-00183-097. The property is presently zoned both R-2, Medium Density

Residential, and C-3, General Commercial (treated as C-2 following conversion), with a Future Land Use designation of NN, Neighborhood Node. Adjacent zoning districts include R-2, Medium Density Residential to the north and east, C-3, General Commercial on the south, and A, Agriculture on the west. Adjacent land use designations include Neighborhood Node to the west, Residential Subdivision to the north and east, and Institutional to the south. The property is presently vacant. This property has direct access to West Pickens Road.

## Project Description

The applicant is proposing a Large Scale Development that consists of three buildings, each with multiple units to accommodate commercial uses. One building will have a drive-thru on the south side. 143 parking spaces are provided. If all uses were retail, a total of 68 spaces would be required. A public street is proposed to be built at the west side of the development. As it is intended to sit on the property line, only a portion of it will be able to be built at the north end of the road. The city would be willing to accept the portion of road that meets our width requirements, and accept an irrevocable offer of dedication for the remaining that would allow the city to accept the roadway as ROW at the time the remainder of the width is completed. Two points of access are proposed into the development, one off of Pickens, the other off of the new proposed road.

## Variances

There are no variances requested with this LSD.

## Analysis & Recommendation

The proposed development meets the requirements of the Zoning Ordinance and Building Regulations of the City of Pea Ridge; therefore, staff recommends approval of this LSD, contingent on the acceptance of an irrevocable offer of dedication for the sub-standard width portion of the proposed road.

## Supplemental Information

MINIMUM DIMENSION REQUIREMENTS RESIDENTIAL DISTRICTS						
ZONING DISTRICTS						
DIMENSION	A	RE	R-1	R-2	R-3	R-4
Lot size						
Single-family (sq. ft.)	5 ac	1 ac	12,000	8,000	NP	NP
Duplex, Triplex & Four Plex (sq. ft.)	NP	NP	NP	NP	12,000	NP
Nonresidential uses (sq. ft.)	5 ac	1 ac	½ ac	12,000	12,000	12,000
Multi-family (units/acre)	NP	NP	NP	NP	12	1 Story-10 2 Story-18 3 Story- 27
Lot width (all uses)	240'	120'	100'	60'	100'	1 Story- 150' 2 Story-150' 3 Story- 150'
Front setback (all uses)	30'	30'	25'	25'	25'	50'
Side setback (all uses)	15'	15'	8'	8'	8'	1 Story-20' 2 Story-20' 3 Story-25'
Street side setback (all uses)	25'	25'	25'	25'	25'	50'
Rear setback (all uses)	30'	30'	25'	25'	25'	45'
NP = not permitted						

A	Agriculture
RE	Residential Estate
R-1	Low Density Residential
R-2	Medium Density Residential
R-3	High Density Residential
R-4	Multi-Family Residential
C-1	Neighborhood Commercial
C-2	General Commercial
I	Industrial



# PRBD DEVELOPMENT

## PEA RIDGE, AR

### CITY OF PEA RIDGE CONTACT INFORMATION

COX CABLE 479-273-5644  
AT&T 888-944-0447  
BLACK HILLS ENERGY, FAYETTEVILLE 800-563-0012  
PEA RIDGE STREET DEPARTMENT 479-451-8654  
PEA RIDGE WATER/SEWER DEPARTMENT 479-451-8800  
479-451-1109  
CARROLL ELECTRIC 800-432-9720  
SWPCO ELECTRIC 888-216-3523  
PEA RIDGE MAYOR'S OFFICE 479-451-1100

### GENERAL NOTES TO CONTRACTOR

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- EXISTING GRADE CONTOURS ARE AT ONE FOOT INTERVALS.
- PROPOSED CONTOURS ARE AT FINISH GRADE AND ARE AT ONE FOOT INTERVALS.
- PROPOSED SPOT ELEVATIONS ARE TOP OF FINISH CURB UNLESS OTHERWISE INDICATED OR SHOWN.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN.
- CONTRACTOR TO INSTALL MUD ABATEMENT ENTRANCES ANYWHERE PROPOSED STREETS ENTER EXISTING PUBLIC STREETS. ENTRANCE TO BE CONSTRUCTED A MIN. OF 50' IN LENGTH BY WIDTH OF PROPOSED STREET AND TO A DEPTH OF 8 INCHES.
- CONTRACTOR TO INSTALL EROSION CONTROL FENCING PRIOR TO BEGINNING ANY CONSTRUCTION. FENCING SHALL BE MAINTAINED & REPAIRED AS NECESSARY BY THE CONTRACTOR DURING CONSTRUCTION.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- CONTRACTOR SHALL ADJUST AND/OR NEATLY CUT EXISTING PAVEMENT TO ASSURE A SMOOTH FIT AND TRANSITION.
- ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3500 PSI.
- DAMAGE DURING CONSTRUCTION TO ANY EXISTING STRUCTURES TO REMAIN SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE.
- THE CONSTRUCTION AND INSTALLATION OF WATER AND SANITARY SEWER UTILITIES SHALL BE IN COMPLIANCE WITH THE CITY OF PEA RIDGE'S WATER AND SEWER SPECIFICATIONS, PROCEDURES AND DETAILS (REV. 07/2015).
- ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF PEA RIDGE'S REQUIREMENTS. IN THE CASE OF CONFLICTS, THE CITY'S CRITERIA SHALL GOVERN.
- ALL SIDEWALKS AND HANDICAP RAMPS SHALL BE BUILT TO THE CURRENT STANDARDS OF THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.



## LARGE SCALE DEVELOPMENT

### SURVEY DESCRIPTIONS:

**PARCEL #18-07938-000:**  
A PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 21 NORTH, RANGE 30 WEST, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT AN EXISTING RAILROAD SPIKE MARKING THE SOUTHWEST CORNER OF SAID FORTY ACRE TRACT AND RUNNING THENCE N02°35'15"E 661.23' TO AN EXISTING REBAR, THENCE S87°10'59"E 327.10' TO AN EXISTING REBAR, THENCE S02°34'23"W 660.94', THENCE N87°14'01"W 327.27' TO THE POINT OF BEGINNING, CONTAINING 4.97 ACRES, MORE OR LESS. SUBJECT TO THAT PORTION IN HIGHWAY #94 RIGHT-OF-WAY AND WEST PICKENS ROAD MASTER STREET PLAN RIGHT-OF-WAY ON THE SOUTH SIDE OF HEREIN DESCRIBED TRACT AND SUBJECT TO ALL OTHER EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

**PARCEL #18-07938-006:**  
A PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 21 NORTH, RANGE 30 WEST, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A POINT WHICH IS S87°14'01"E 327.27' FROM AN EXISTING RAILROAD SPIKE MARKING THE SOUTHWEST CORNER OF SAID FORTY ACRE TRACT AND RUNNING THENCE N02°34'23"E 660.94' TO AN EXISTING REBAR, THENCE S87°12'08"E 329.61' TO AN EXISTING REBAR, THENCE S02°34'14"W 660.76' TO AN EXISTING COTTON SPINDLE, THENCE N87°14'01"W 329.64' TO THE POINT OF BEGINNING, CONTAINING 5.00 ACRES, MORE OR LESS. SUBJECT TO THAT PORTION IN HIGHWAY #94 RIGHT-OF-WAY AND WEST PICKENS ROAD MASTER STREET PLAN RIGHT-OF-WAY ON THE SOUTH SIDE OF HEREIN DESCRIBED TRACT AND SUBJECT TO ALL OTHER EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

**OVERALL:**  
A PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 21 NORTH, RANGE 30 WEST, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT AN EXISTING RAILROAD SPIKE MARKING THE SOUTHWEST CORNER OF SAID FORTY ACRE TRACT AND RUNNING THENCE N02°35'15"E 661.23' TO AN EXISTING REBAR, THENCE S87°10'59"E 327.10' TO AN EXISTING REBAR, THENCE S87°12'08"E 329.61' TO AN EXISTING REBAR, THENCE S02°34'14"W 660.76' TO AN EXISTING COTTON SPINDLE, THENCE N87°14'01"W 656.91' TO THE POINT OF BEGINNING, CONTAINING 9.97 ACRES, MORE OR LESS. SUBJECT TO THAT PORTION IN HIGHWAY #94 RIGHT-OF-WAY AND WEST PICKENS ROAD MASTER STREET PLAN RIGHT-OF-WAY ON THE SOUTH SIDE OF HEREIN DESCRIBED TRACT AND SUBJECT TO ALL OTHER EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

**FLOOD CERTIFICATION:**  
NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR BENTON COUNTY, ARKANSAS.  
(FIRM PANEL #05007C0085J. DATED 09/28/2007)

### GENREAL SURVEY NOTE:

THE UNDERGROUND UTULITUES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

### INDEX OF DRAWINGS

CO1  
SU01-SU03  
SPO1-SPO3  
LSO1  
UTO1-UTO6  
STO1  
GPO1-GPO3  
STO1  
ECO1-ECO3  
LPO1  
DTO1-DTO8

COVER SHEET  
BOUNDARY SURVEY + DEMO  
SITE PLAN  
LIGHTING + SIGN PLAN  
UTILITY PLAN + PROFILES  
STREET PLAN  
GRADING PLAN  
STORM PLAN + PROFILE  
EROSION CONTROL PLAN  
LANDSCAPE PLANS  
SITE DETAILS

PARCEL NUMBER: 18-07938-006 & 18-07938-000

PROJECT SITE ADDRESS: 1838 W PICKENS RD  
PEA RIDGE, AR 72751

ZONING CLASSIFICATION: C-2

PROPOSED USE: GENERAL COMMERCIAL

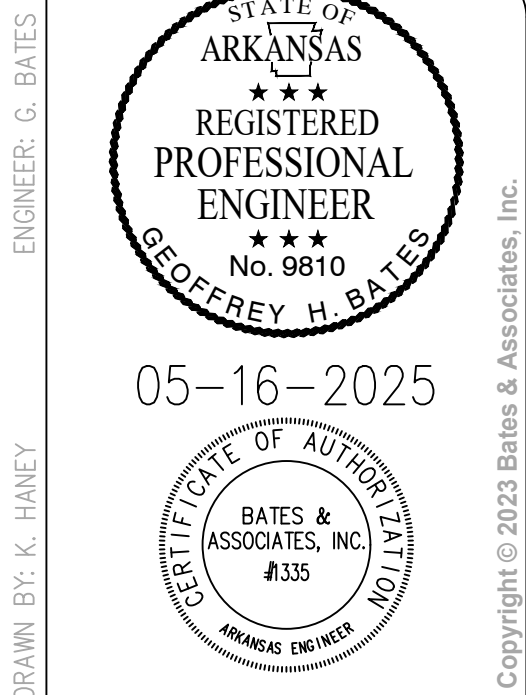
TOTAL SITE AREA: 9.97 +/- ACRES

OWNER/DEVELOPER: PRBD LLC  
17252 N HIGHWAY 94  
PEA RIDGE, AR 72751

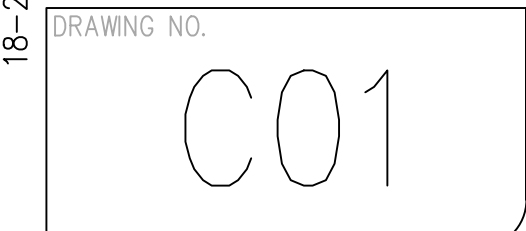
ENGINEER/SURVEYOR: BATES & ASSOCIATES, INC.  
7230 S PLEASANT RIDGE DR.  
FAYETTEVILLE, AR 72703  
PHONE: (479) 442-9350  
FAX: (479) 521-9350

ARCHITECT: DAVE BURRIS  
BURRIS ARCHITECTURE  
820 TIGER BLVD  
SUITE 4  
BENTONVILLE, AR 72712  
PHONE: (479) 319-6045

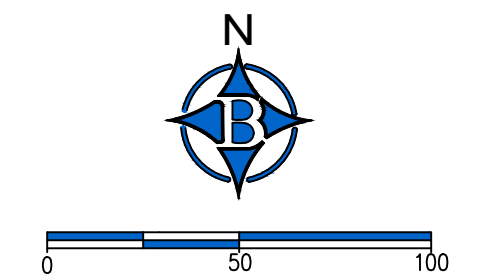
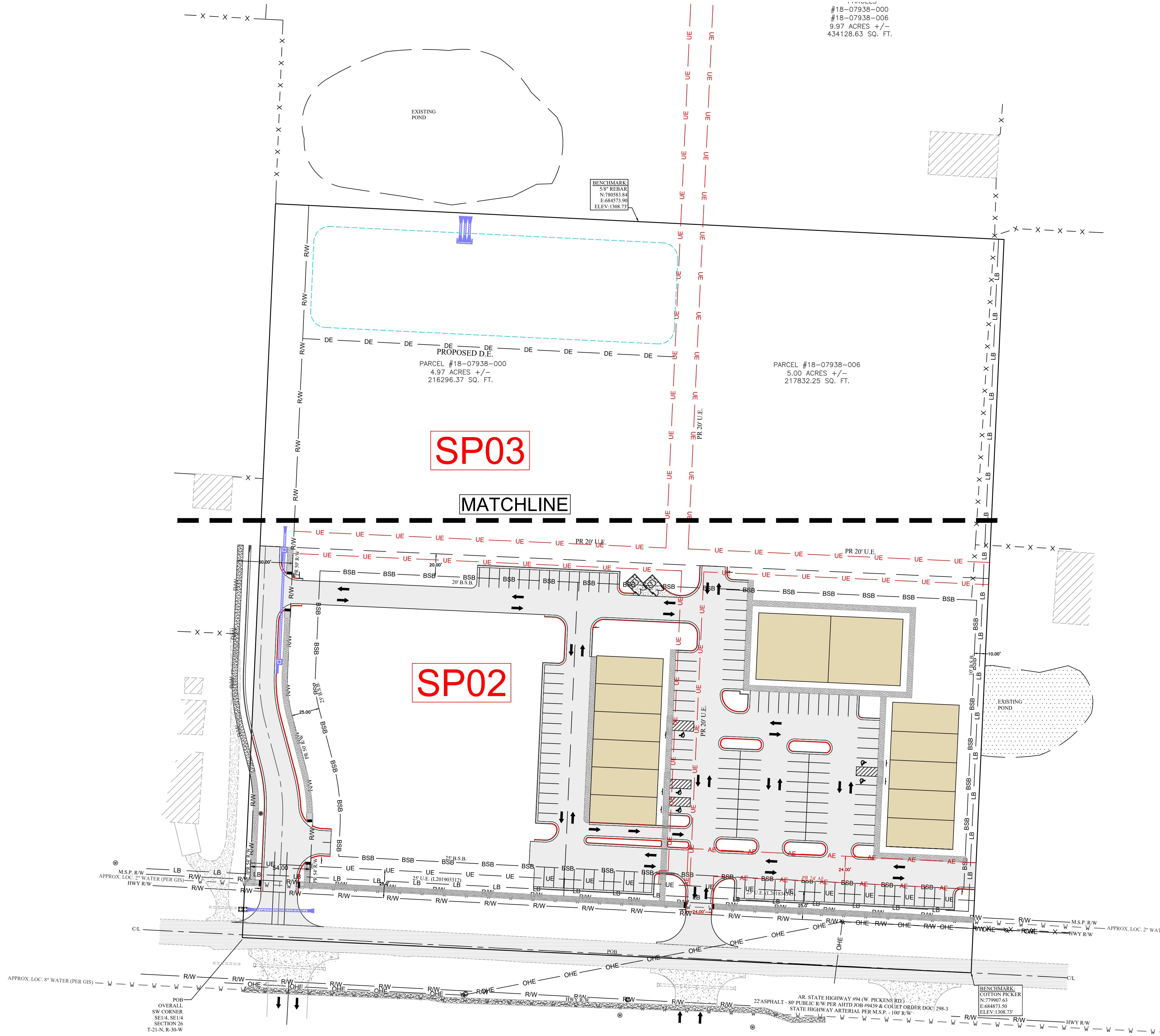
LEGEND		
PROPOSED	EXISTING	DESCRIPTION
		ACCESS EASEMENT
		ASPHALT
		BUILDING
		CANOPY
		CENTERLINE
		CONCRETE
		CONTOURS (BOX)
		CONTOURS (INT)
		CURB & GUTTER
		EASEMENT (UTILITY)
		ELECTRIC (UNDERGROUND)
		ELECTRIC (OVERHEAD)
		FENCE
		FIRE STRIPING
		FLOWLINE
		FORCEMAIN
		GAS MAIN
		GRAVEL
		GREENSPACE
		LANDSCAPE BUFFER
		LIGHT
		POWER POLE
		PROPERTY LINE
		RETAINING WALL
		RIGHT OF WAY
		SANITARY SEWER MH
		SERVICE - SEWER
		SERVICE - WATER
		SEWER
		SIDEWALK
		SIGN
		SILT FENCE
		STORM BOX
		STORM PIPE
		TRUNCATED DOME
		WATER
		WETLANDS



REVISIONS	DATE	
	1st Submittal	2nd Submittal
	02/21/25	05/16/25







ENGINEER: G. BATES

DRAWN BY: K. HANEY

STATE OF ARKANSAS  
REGISTERED PROFESSIONAL ENGINEER  
No. 9810  
GEOFFREY H. BATES

CERTIFICATE OF AUTHORITY  
BATES & ASSOCIATES, INC.  
#335  
ARKANSAS ENGINEER

05-16-2025

Copyright © 2023 Bates & Associates, Inc.

REVISIONS	DATE	
	1st Submittal	2nd Submittal
	02/27/25	05/16/25

PRBD DEVELOPMENT

LARGE SCALE DEVELOPMENT

OVERALL SITE PLAN

PEA RIDGE, ARKANSAS

**BATES**

Engineers • Surveyors

7230 S Pleasant Ridge Dr / Fayetteville, AR 72704

PH: (479) 442-9350 / batesnwa.com



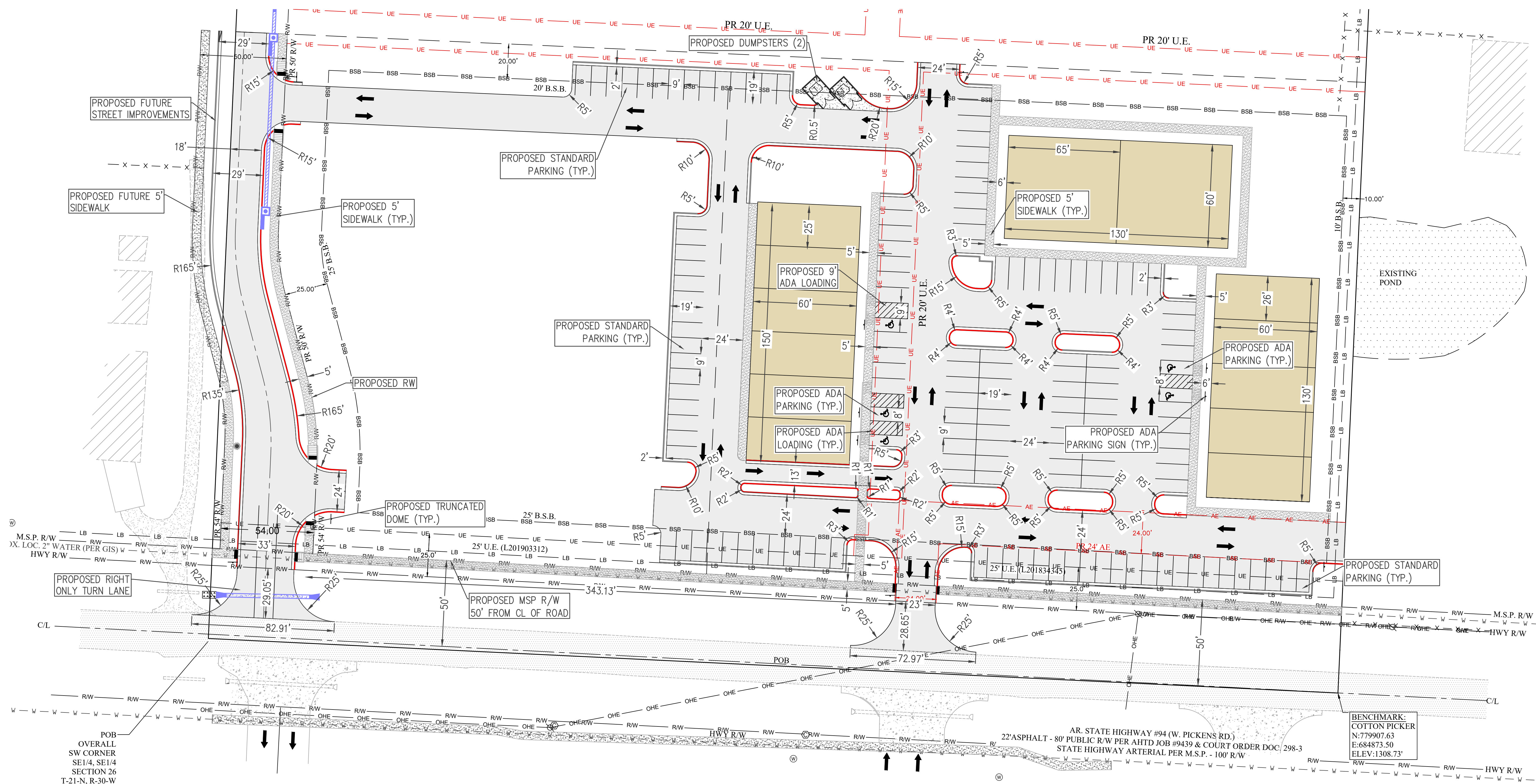
- ALL OUTDOOR LIGHTING SHALL BE REVIEWED PRIOR TO BUILDING PERMIT APPROVAL FOR COMPLIANCE WITH THE OUTDOOR LIGHTING ORDINANCE.
2. ALL MECHANICAL/UTILITY EQUIPMENT SHALL BE SCREENED USING MATERIALS THAT ARE COMPATIBLE WITH AND INCORPORATED INTO THE STRUCTURE.
3. MECHANICAL AND UTILITY EQUIPMENT OVER 30 INCHES IN HEIGHT SHALL MEET BUILDING SETBACKS.
4. ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND, AND ALL EXISTING UTILITIES UNDER 12KV SHALL BE RELOCATED UNDERGROUND.
5. ALL CONDUITS PLACED BY CONTRACTOR MUST HAVE 48" OF COVER AT FINAL GRADE AND MARKED WITH POST TO IDENTIFY THE END OF CONDUITS. THERE MUST BE A MINIMUM SEPARATION OF 12" BETWEEN CONDUITS FOR ELECTRIC AND CONDUITS FOR OTHER UTILITIES.
6. DAMAGE TO OR RELOCATION OF EXISTING UTILITIES SHALL BE AT THE DEVELOPER'S EXPENSE.
7. ALL METER LOCATIONS AND BACKFLOW PREVENTION FOR THE FIRE SPRINKLER SYSTEMS MUST BE APPROVED BY PEA RIDGE WATER DEPARTMENT
8. THE ENGINEER OF RECORD SHALL PROVIDE "FULL TIME" INSPECTION FOR UTILITIES AND "PART TIME" INSPECTION FOR THE STORM DRAINAGE AND ROADWAY CONSTRUCTION, AND WEEKLY REPORTS SHALL BE SUBMITTED TO THE CITY OF PEA RIDGE'S WATER AND STREET DEPARTMENTS.
9. NOTIFY PUBLIC WORKS INSPECTOR IN ADVANCE OF PERFORMING WORK IN THE RIGHT OF WAY OR PUBLIC INFRASTRUCTURE
10. SERVICE TAPS ON EXISTING MAINS SHALL BE MADE BY THE CITY, AND FEES PAID BY OWNER
11. AHTD PERMIT REQUIRED TO PERFORM WORK IN THE STATE RIGHT OF WAY.
12. ALL AREAS NOT DESIGNATED AS PARKING SPACES SHALL BE IDENTIFIED AS "NO PARKING - FIRE LANE"
13. MOTORCYCLE/SCOOTER PARKING SPACES TO BE IDENTIFIED WITH PAVEMENT MARKING OR SIGNAGE.
14. TRASH ENCLOSURES SHALL BE SCREENED ON THREE SIDES WITH MATERIALS COMPATIBLE TO AND COMBLE WITH THE PRINCIPAL STRUCTURE. CONTAINERS MAY ALSO BE SCREENED FROM VIEW OF THE STREET BY PRINCIPAL STRUCTURE OR VEGETATION. ELEVATIONS OF THE PROPOSED DUSTPOT ENCLOSURE SHALL BE SUBMITTED TO THE PLANNING AND SOLID WASTE DIVISIONS FOR REVIEW PRIOR TO BUILDING PERMIT.
15. ALL SIGNS MUST BE PERMITTED BY SEPARATE PERMIT.

1. CONTACT CITY ADA ADMINISTRATOR AND REQUEST AN INSPECTION PRIOR TO POURING ANY ADA ACCESSIBLE PARKING/LOADING STALL. MAXIMUM SLOPE FOR ADA SPACE IN ANY DIRECTION IS 2%

- 1). ALL AREAS NOT DESIGNATED AS PARKING SPACES SHALL BE IDENTIFIED AS "NO PARKING FIRE LANE" BY THE PINK CURB OPTION. IF NO CURB IS PRESENT, AN 8-INCH WIDE RED STRIPE SHALL BE PAINTED ON THE PAVEMENT. THE STRIPE SHALL BE LETTERED THE SAME, AS A CURB.
- 2). FIRE LANE SHALL BE PROVIDED WITH FIRE LANE STRIPING THAT CONSISTS OF A SIX-INCH (6") WIDE RED BACKGROUND STRIPE WITH FOUR-INCH (4") HIGH WHITE LETTERS AND ONE-INCH (1") STROKE SPACING, "NO PARKING FIRE LANE". WHITE LETTERS TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY-FIVE FEET (25') ALONG THE ENTIRE LENGTH OF THE FIRE LANE.
- 3). FIRE LANE STRIPINGS SHALL BE UPON THE VERTICAL SURFACE OF THE CURB, UNLESS OTHERWISE SPECIFIED BY THE PINK CURB OPTION. IF NO CURB IS PRESENT, AN 8-INCH WIDE RED STRIPE SHALL BE PAINTED ON THE PAVEMENT. THE STRIPE SHALL BE LETTERED THE SAME, AS A CURB.

<u>PARKING TABLE:</u>	
<u>176.33 OFF-STREET PARKING STANDARDS</u>	
RETAIL/SERVICE 1 PER 250 SQUARE FEET TOTAL SQ. FT. OF BUILDINGS: 16,800	
PARKING SPACES REQUIRED:	68
TOTAL STANDARD SPACES PROVIDED:	143
TOTAL ADA SPACES REQUIRED/PROVIDED:	5

<u>C-2 (GENERAL COMMERCIAL USE)</u>	
FRONT	25FT
SIDE	10FT
SIDE (STREET)	25FT
REAR (NONRESIDENTIAL)	20FT



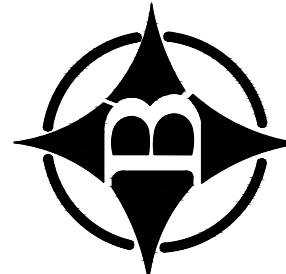
DRAWN BY: K. HANEY

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PRBD DEVELOPMENT  
LARGE SCALE DEVELOPMENT  
SITE PLAN  
PEA RIDGE, ARKANSAS



**Engineers · Surveyors**  
7230 S Pleasant Ridge Dr / Fayetteville, AR 72704  
PH: (479) 442-9350 / batesnwa.com



DRAWING NO.

SP02



NOTES:

1. ALL OUTDOOR LIGHTING SHALL BE REVIEWED PRIOR TO BUILDING PERMIT APPROVAL FOR COMPLIANCE WITH THE OUTDOOR LIGHTING ORDINANCE.
2. ALL MECHANICAL/UTILITY EQUIPMENT SHALL BE SCREENED USING MATERIALS THAT ARE COMPATIBLE WITH AND INCORPORATED INTO THE STRUCTURE.
3. MECHANICAL AND UTILITY EQUIPMENT OVER 30 INCHES IN HEIGHT SHALL MEET BUILDING SETBACKS.
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5. ALL CONDUITS PLACED BY CONTRACTOR MUST HAVE 48" OF COVER AT FINAL GRADE AND MARKED WITH POST TO IDENTIFY THE END OF CONDUITS. THERE MUST BE A MINIMUM SEPARATION OF 12" BETWEEN CONDUITS FOR ELECTRIC AND CONDUITS FOR OTHER UTILITIES.
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7. ALL METER LOCATIONS AND BACKFLOW PREVENTION FOR THE FIRE SPRINKLER SYSTEMS MUST BE APPROVED BY PEA RIDGE WATER DEPARTMENT
8. THE ENGINEER OF RECORD SHALL PROVIDE "FULL TIME" INSPECTION FOR UTILITIES AND "PART TIME" INSPECTION FOR THE STORM DRAINAGE AND ROADWAY CONSTRUCTION, AND WEEKLY REPORTS SHALL BE SUBMITTED TO THE CITY OF PEA RIDGE'S WATER AND STREET DEPARTMENTS.
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10. SERVICE TAPS ON EXISTING MAINS SHALL BE MADE BY THE CITY, AND FEES PAID BY OWNER
11. AHTD PERMIT REQUIRED TO PERFORM WORK IN THE STATE RIGHT OF WAY.
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14. TRASH ENCLOSURES SHALL BE SCREENED ON THREE SIDES WITH MATERIALS COMPLIMENTARY TO AND COMPATIBLE WITH THE PRINCIPAL STRUCTURE. CONTAINERS MAY ALSO BE SCREENED FROM VIEW OF THE STREET BY PRINCIPAL STRUCTURE OR VEGETATION. ELEVATIONS OF THE PROPOSED DUPSTER ENCLOSURE SHALL BE SUBMITTED TO THE PLANNING AND SOLID WASTE DIVISIONS FOR REVIEW PRIOR TO BUILDING PERMIT.
15. ALL SIGNS MUST BE PERMITTED BY SEPARATE PERMIT.

ADA NOTES:

1. CONTACT CITY ADA ADMINISTRATOR AND REQUEST AN INSPECTION PRIOR TO POURING ANY ADA ACCESSIBLE PARKING/LOADING STALL. MAXIMUM SLOPE FOR ADA SPACE IN ANY DIRECTION IS 2%

FIRE LANE STRIPING NOTES:

- 1). ALL AREAS NOT DESIGNATED AS PARKING SPACES SHALL BE IDENTIFIED AS "NO PARKING FIRE LANE."
- 2). FIRE LANES SHALL BE PROVIDED WITH FIRE LANE STRIPING THAT CONSISTS OF A SIX-INCH (6") WIDE RED BACKGROUND STRIPE WITH FOUR-INCH (4") HIGH WHITE LETTERS AND ONE-INCH (1") STROKE STATING, "NO PARKING FIRE LANE". WHITE LETTERS TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY-FIVE FEET (25') ALONG THE ENTIRE LENGTH OF THE FIRE LANE.
- C). FIRE LANE MARKINGS SHALL BE UPON THE VERTICAL SURFACE OF THE CURB, UNLESS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL. IF NO CURB IS PRESENT, AN 8-INCH WIDE RED STRIPE SHALL BE PAINTED ON THE PAVEMENT. THE STRIPE SHALL BE LETTERED THE SAME AS A CURB.

PARKING TABLE:

176.33 OFF-STREET PARKING STANDARDS

RETAIL/SERVICE 1 PER 250 SQUARE FEET TOTAL SQ. FT. OF BUILDINGS:16,800

PARKING SPACES REQUIRED:	68
TOTAL STANDARD SPACES PROVIDED:	143
TOTAL ADA SPACES REQUIRED/PROVIDED:	5

BUILDING SETBACKS:

C-2 (GENERAL COMMERCIAL USE):

FRONT	25FT
SIDE	10FT
SIDE (STREET)	25FT
REAR (NONRESIDENTIAL)	20FT

BENCHMARK:  
5/8" REBAR  
N:780583.84  
E:684573.90  
ELEV:1308.73'

PROPOSED D.E.

PARCEL #18-07938-000  
4.97 ACRES +/-  
216296.37 SQ. FT.

PROPOSED POND  
100YR WSE

PARCEL #18-07938-006  
5.00 ACRES +/-  
217832.25 SQ. FT.

MATCHLINE

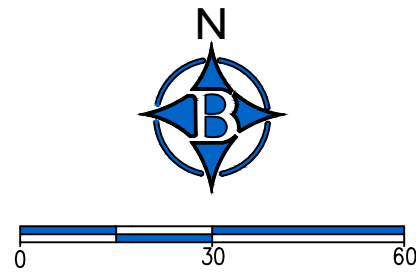
PR 20' U.E.

PROPOSED DUMPSTERS (2)

PR 20' U.E.

PROPOSED STANDARD  
PARKING (TYP.)

PROPOSED 5'



ENGINEER: G. BATES

DRAWN BY: K. HANEY



REVISIONS	DATE
1st Submittal	02/21/25
2nd Submittal	05/16/25

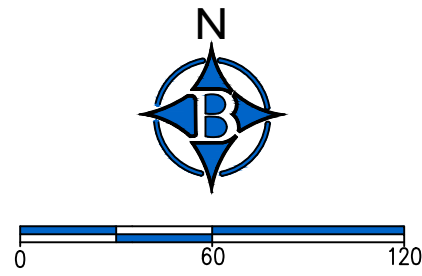
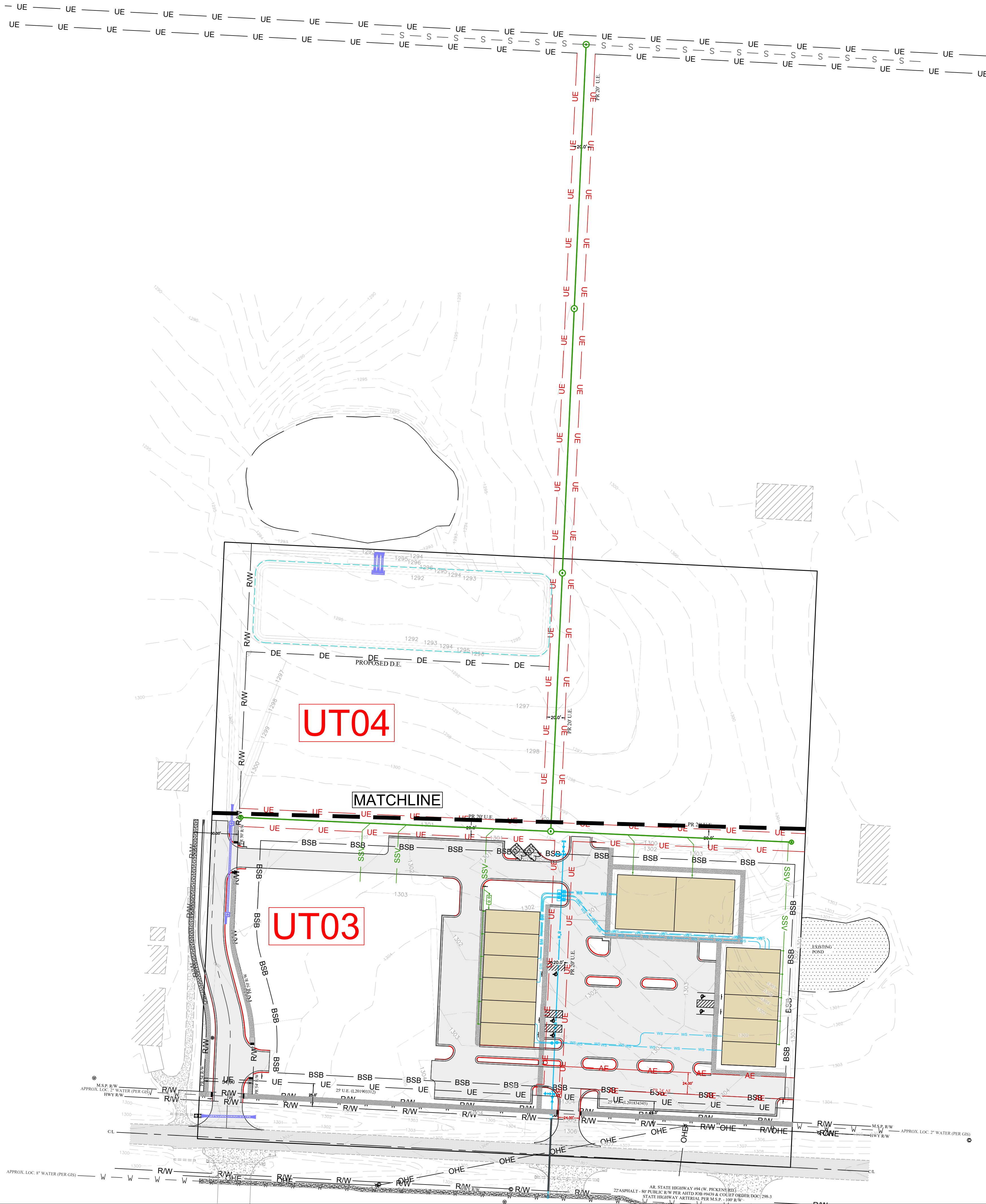
PRBD DEVELOPMENT  
LARGE SCALE DEVELOPMENT  
SITE PLAN  
PEA RIDGE, ARKANSAS



DRAWING NO.  
SP03

PROJECT NO. 18-246





PROJECT NO. 18-246

DRAWING NO.  
**UT01**



**BATES**  
Engineers - Surveyors  
7230 S Pleasant Ridge Dr / Fayetteville, AR 72704  
PH: (479) 442-9350 / batesnwa.com

PRBD DEVELOPMENT  
LARGE SCALE DEVELOPMENT  
OVERALL UTILITY PLAN  
PEA RIDGE, ARKANSAS

REVISIONS	DATE	
	1st Submittal	2nd Submittal
	02/27/25	05/16/25

DRAWN BY: K. HANEY  
ENGINEER: G. BATES

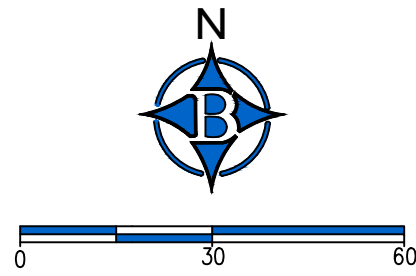
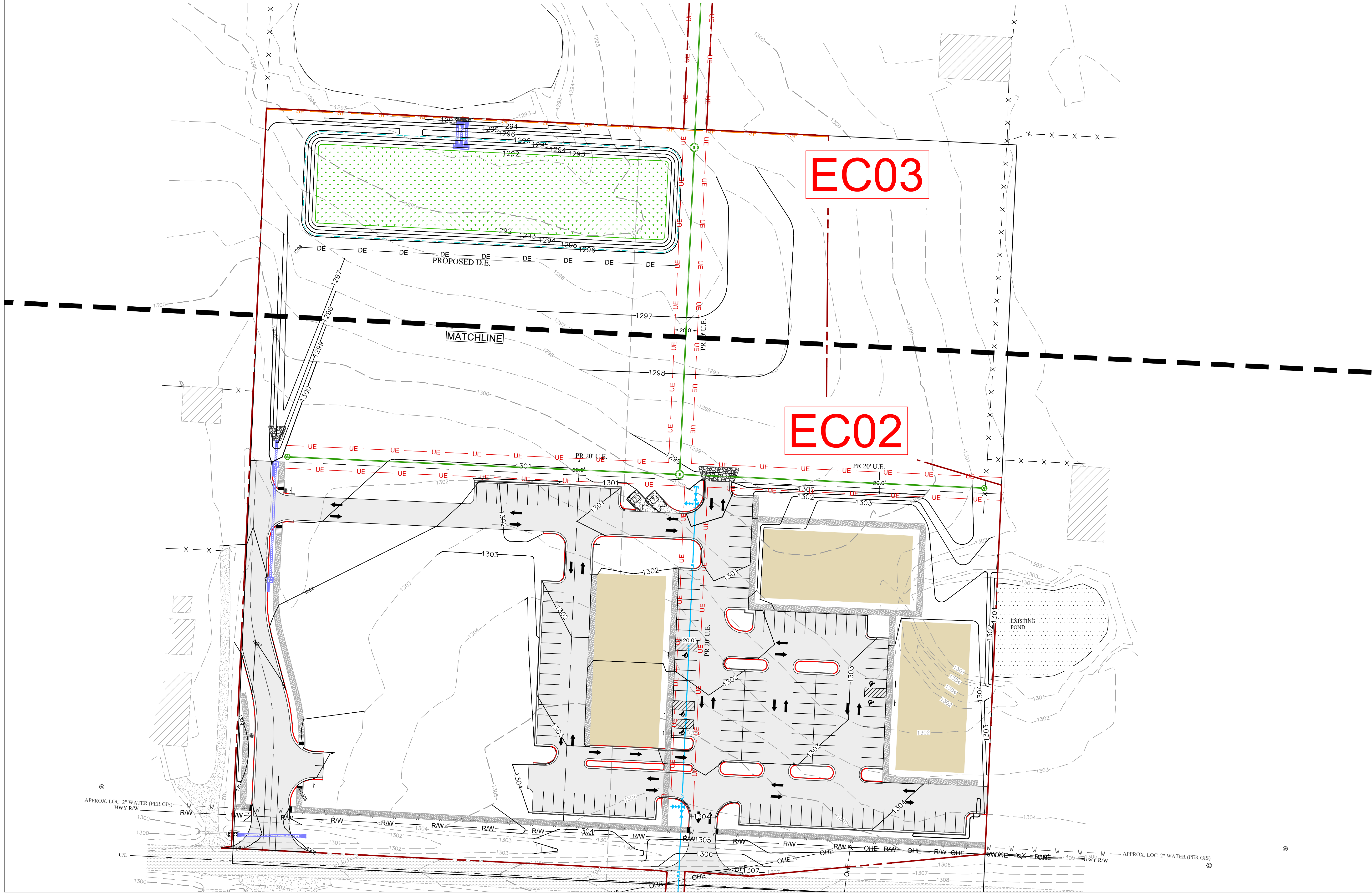
STATE OF ARKANSAS  
REGISTERED PROFESSIONAL ENGINEER  
No. 9810  
GEOFFREY H. BATES

CERTIFICATE OF AUTHORITY  
BATES & ASSOCIATES, INC.  
#335  
ARKANSAS ENGINEER

05-16-2025

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ENGINEER: G. BATES

DRAWN BY: K. HANEY

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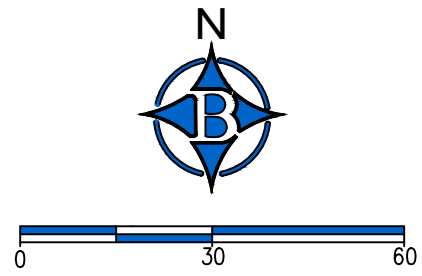
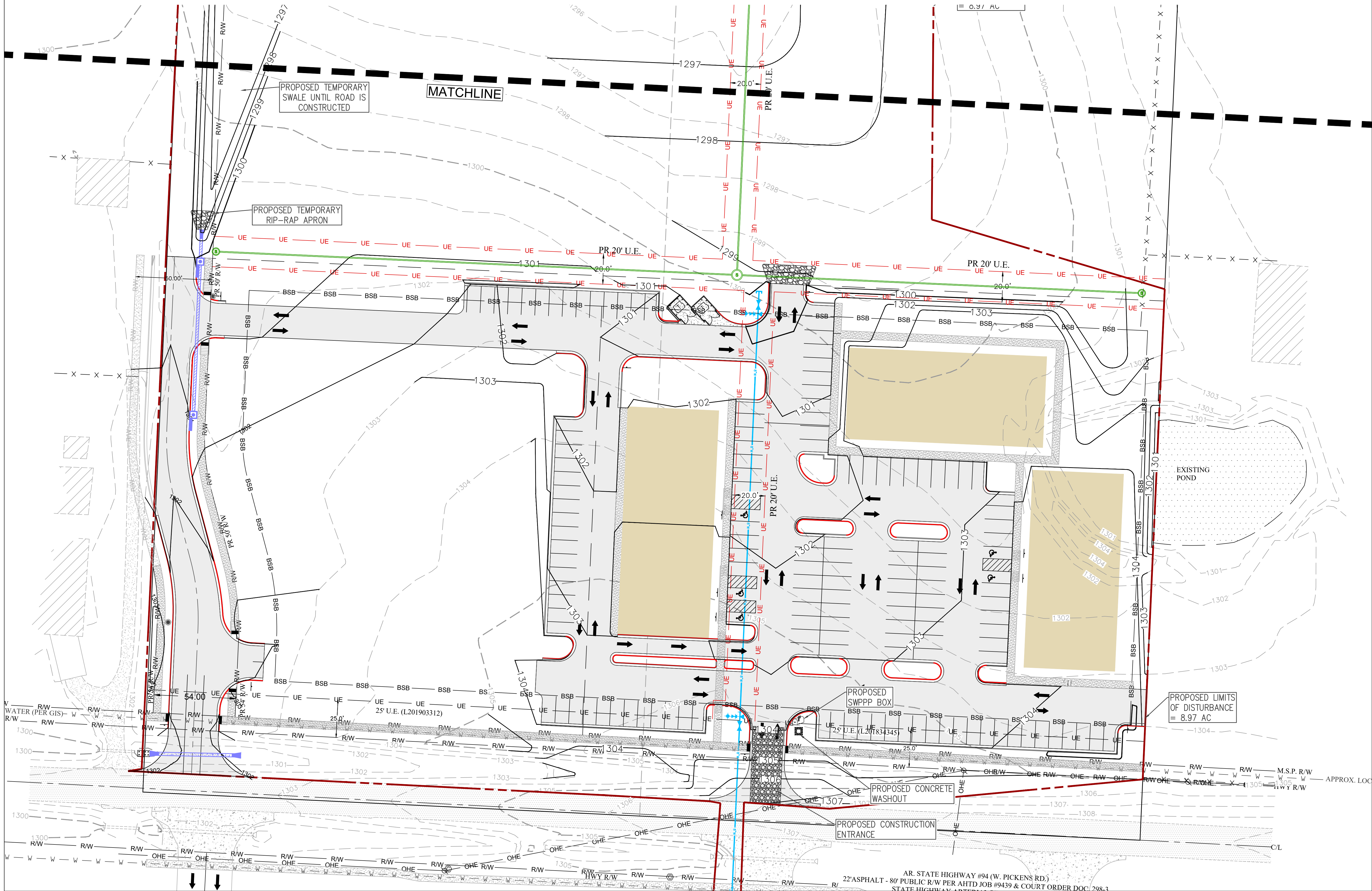
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REVISIONS	DATE	
	1st Submittal	2nd Submittal
	02/27/25	05/16/25

PRBD DEVELOPMENT  
LARGE SCALE DEVELOPMENT  
(OVERALL) EROSION CONTROL PLAN  
PEA RIDGE, ARKANSAS

**BATES**  
Engineers - Surveyors  
7230 S Pleasant Ridge Dr / Fayetteville, AR 72704  
PH: (479) 442-9350 / batesnwa.com





ENGINEER: G. BATES

DRAWN BY: K. HANEY

STATE OF ARKANSAS  
REGISTERED PROFESSIONAL ENGINEER  
No. 9810  
GEOFFREY H. BATES

05-16-2025

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REVISIONS	DATE
1st Submittal	02/21/25
2nd Submittal	05/16/25

PRBD DEVELOPMENT  
LARGE SCALE DEVELOPMENT  
EROSION CONTROL PLAN  
PEA RIDGE, ARKANSAS

**BATES**  
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7230 S Pleasant Ridge Dr / Fayetteville, AR 72704  
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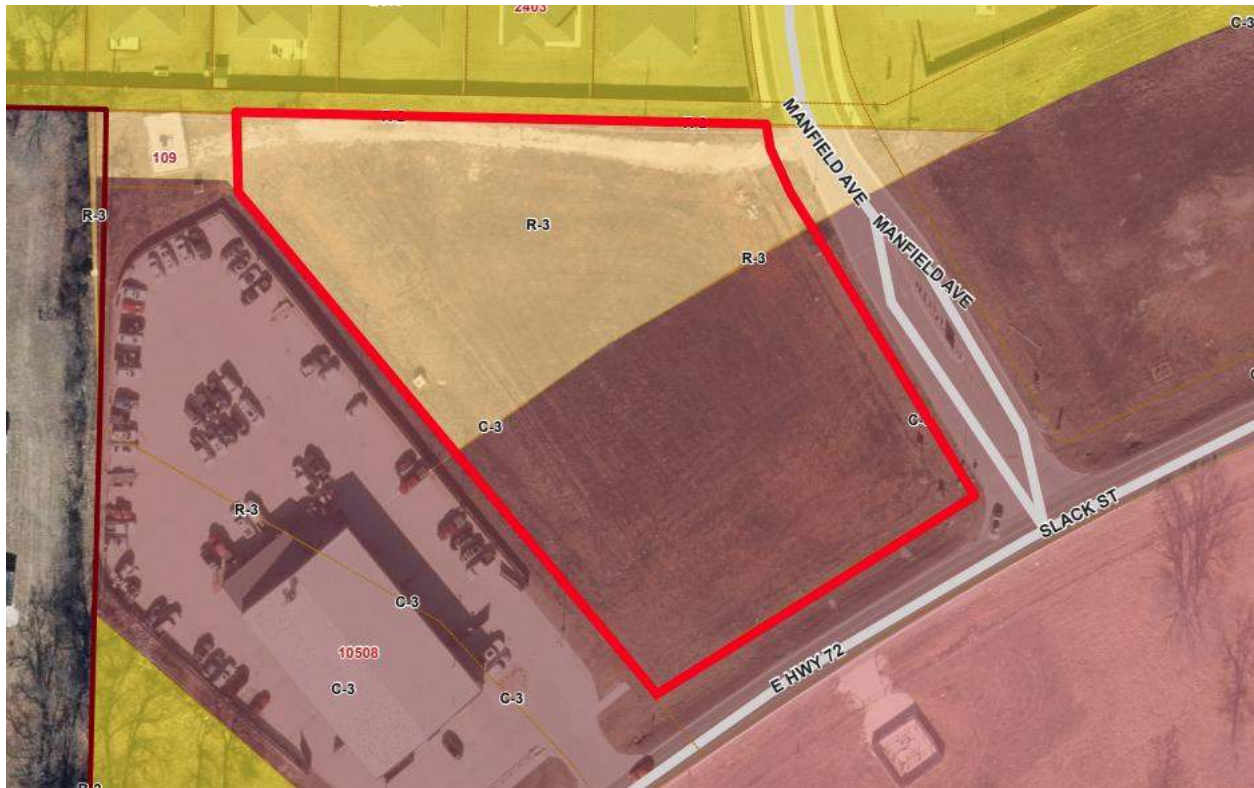


## STAFF REPORT

### Jameson Place Large Scale Development

<b>Location:</b>	Northwest corner of Slack Street and Manfield Avenue
<b>Current Zoning:</b>	C-3, General Commercial & R-3, Multi-family Residential
<b>Land Use Designation:</b>	Entry Corridor
<b>Owner/Applicant:</b>	Mathias Shopping Centers Holdings #1, LLC/Crafton Tull

Vicinity Map (illustrative only):



#### Property Description

The subject property is located at the Northwest Corner of Slack Street and Manfield Avenue, being a parcel number 13-04535-000. The property is presently zoned both C-3, General Commercial (treated as C-2 following conversion) and R-3, Multi-family Residential, with a Future Land Use designation of EC, Entry Corridor. Adjacent zoning districts include R-2, Medium Density Residential to the north, C-3, General Commercial on the east and west, and C-2, General Commercial on the south. Adjacent land use designations include Entry Corridor to the south, east, and west, and Residential Subdivision to the north. The property is presently vacant. This property has direct access to Slack Street and Manfield Avenue.

## Project Description

The applicant is proposing a Large Scale Development that consists of a single multi-tenant building with parking in the front. A total of 48 parking spaces are provided; if the entire building were to be retail, a total of 48 spaces would be required. The commercial use is confined to the portion of the property zoned C-3. Access is provided off of both Slack Street and Manfield. A 10' trail is proposed along Slack Street in ROW dedicated to the city, per the Master Street Plan. Access is preserved for utilities along the northern property line.

The development is missing adequate screening to the residential uses to the north.

## Variances

There are no variances requested with this LSD.

## Analysis & Recommendation

The proposed development meets the requirements of the Zoning Ordinance and Building Regulations of the City of Pea Ridge aside from screening; therefore, staff recommends approval of this LSD, contingent on proposed screening meeting the minimum code requirements.

## Supplemental Information

MINIMUM DIMENSION REQUIREMENTS RESIDENTIAL DISTRICTS						
ZONING DISTRICTS						
DIMENSION	A	RE	R-1	R-2	R-3	R-4
Lot size						
Single-family (sq. ft.)	5 ac	1 ac	12,000	8,000	NP	NP
Duplex, Triplex & Four Plex (sq. ft.)	NP	NP	NP	NP	12,000	NP
Nonresidential uses (sq. ft.)	5 ac	1 ac	½ ac	12,000	12,000	12,000
Multi-family (units/acre)	NP	NP	NP	NP	12	1 Story-10 2 Story-18 3 Story- 27
Lot width (all uses)	240'	120'	100'	60'	100'	1 Story- 150' 2 Story-150' 3 Story- 150'
Front setback (all uses)	30'	30'	25'	25'	25'	50'
Side setback (all uses)	15'	15'	8'	8'	8'	1 Story-20' 2 Story-20' 3 Story-25'
Street side setback (all uses)	25'	25'	25'	25'	25'	50'
Rear setback (all uses)	30'	30'	25'	25'	25'	45'
NP = not permitted						

A	Agriculture
RE	Residential Estate
R-1	Low Density Residential
R-2	Medium Density Residential
R-3	High Density Residential
R-4	Multi-Family Residential
C-1	Neighborhood Commercial
C-2	General Commercial
I	Industrial



Map of the project location in the Westborough area. The map shows a network of streets including Trumble Ln, England Ln, Parnell St, Kirby Dr, Adcock Ln, Capen Ln, Armstrong Ln, Marfield Ave, Slack St, Johnson Hollow Rd, E Hwy 72, Dove Rd, and Gaines St. A shaded area on Marfield Ave is labeled "PROJECT LOCATION".

TREE TO BE REMOVED

## ROAD CENTERLINE

CIRCULAR DROP INLET,  
GRATED INLET OR JUNCTION  
BOX (SPECIFY ON PLAN  
SHEET)

## ROAD CENTERLINE

- THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR THE COORDINATION OF THE WALL LOCATION AND ELEVATIONS.
2. THE EXISTENCE AND LOCATION OF ALL EXISTING ABOVE GROUND UTILITIES AND STRUCTURES SHOWN ON THESE DRAWINGS IS BASED ON A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS. CRAFTON TULL ASSUMES NO RESPONSIBILITY REGARDING THE ACCURACY OF THE DEPICTED LOCATION(S) OF THE UNDERGROUND FACILITIES ON THESE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ANY OTHER FACILITIES NOT SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL VERIFY LOCATION OF ALL FACILITIES BEFORE BEGINNING WORK.
3. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN OR NEAR THE CONSTRUCTION SITE.
4. THE DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF CRAFTON, TULL & ASSOCIATES, INC. AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CRAFTON, TULL & ASSOCIATES, INC.
5. CONTRACTOR SHALL NOT CAUSE ANY LONG-TERM INCONVENIENCE TO THE PUBLIC, ADJACENT PROPERTY OWNERS, PEDESTRIANS, ETC. DURING CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL PROVIDE ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION.
6. CONTRACTOR SHALL NOTIFY THE ENGINEER FOR CLARIFICATION IF A DISCREPANCY OR INCONSISTENCY IS IDENTIFIED IN THE PLANS OR SPECIFICATIONS.
7. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT WHICH ARE NECESSARY TO CONFORM TO OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
8. ENGINEER OF RECORD SHALL OBSERVE THE INSTALLATION OF THE WATER & SEWER MAINS. BEYOND THAT SCOPE, CRAFTON TULL & ASSOCIATES, INC. (CTA) HAS NOT BEEN RETAINED BY THE OWNER FOR CONSTRUCTION ADMINISTRATION OR OBSERVATION SERVICES FOR THE MAINTENANCE OF THE DRAWINGS. THEREFORE, CTA HEREBY NOTIFIES ALL PARTIES INVOLVED THAT CRAFTON, TULL & ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR THE INTERPRETATION, COORDINATION, OR ADMINISTRATION OF THESE DOCUMENTS AND/OR DEVIATIONS THEREOF. FURTHERMORE, CRAFTON, TULL & ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR ANY EFFECTS THAT ANY CHANGES TO THESE DOCUMENTS MAY HAVE ON ANY RELATED TRADES, CONSTRUCTION SEQUENCES, OR OPERATION OF THE COMPLETED PROJECT EXCEPT AS SPECIFICALLY NOTED IN THE AGREEMENT BETWEEN CRAFTON, TULL & ASSOCIATES AND THE OWNER.
9. CONTRACTOR'S TESTING SHALL BE PERFORMED BY A LICENSED ARCHITECTURAL ENGINEER LICENSED IN THE STATE OF ARKANSAS. ALL TESTING SHALL BE PERFORMED PER THE GEO-TECHNICAL REPORT REQUIREMENTS, TECHNICAL SPECIFICATION, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE AT CONTRACTORS EXPENSE.
10. **ENERGIZED ELECTRICAL LINE SAFETY WARNINGS, AND ADVANCED NOTICES:** ALL OWNERS, GENERAL CONTRACTORS, AND SUBCONTRACTORS ASSOCIATED WITH THIS PROJECT SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH, COMPLYING WITH, AND THE ENFORCEMENT OF ARKANSAS CODES AR ST § 11-5-307 AND § AR ST 11-5-308 AND ANY OTHER CURRENTLY APPLICABLE ELECTRICAL SAFETY AND WARNING LAWS, ORDINANCES AND FOR SAFETY OF ALL PERSONNEL, INCLUDING THE GENERAL PUBLIC, PERTAINING TO ANY WORK, MOVEMENT, AND ACTIVITY IN CLOSE PROXIMITY TO ANY ENERGIZED ELECTRICAL LINE.

**WATER**  
PEA RIDGE WATER UTILITIES  
885 N CURTIS AVE  
PEA RIDGE, AR 72751  
PHONE: (479)451-1109

**SANITARY SEWER**  
PEA RIDGE WATER UTILITIES  
885 N CURTIS AVE  
PEA RIDGE, AR 72751  
PHONE: (479)451-1109

**GAS**  
BLACK HILLS ENERGY  
1301 FEDERAL WAY  
LOWELL, AR  
72745-2129  
(479) 333-7009

**ELECTRIC**  
CARROLL ELECTRIC CO-OP  
707 S.E. WALTON BLVD.  
BENTONVILLE, AR 72712  
PHONE: (479)273-2421

BUILDING SETBACK:	FRONT 25' SIDE 20' REAR 25'
SITE AREA:	±2.11 AC. (±91,912 SQ.FT.)
BUILDING SIZE:	PROPOSED BUILDING = ±11,846 SQ. FT.
BUILDING USAGE:	COMMERCIAL
ZONING:	C-3 & R-3
PROPERTY USAGE:	GENERAL COMMERCIAL
SITE ENGINEER:	CRAFTON TULL CONNOR THRETT, P.E. 300 N COLLEGE AVE, SUITE 317 FAYETTEVILLE, AR 72701 479-636-4838
SITE OWNER/DEVELOPER:	MATHIAS SHOPPING CENTERS HOLDINGS #1 LLC 5571 BLEAUX AVE, SUITE A SPRINGDALE, AR 72764 479-251-9400

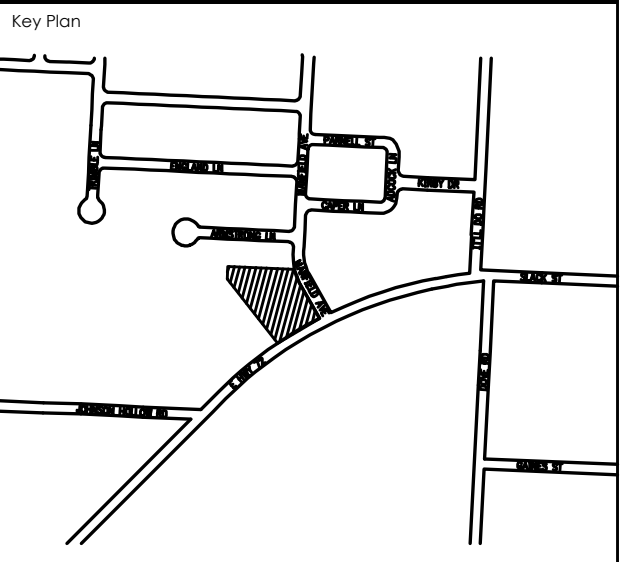
LOT 1, KINNEY CREEK DEVELOPMENT INCIDENTAL SUBDIVISION, AN  
ADDITION TO THE CITY OF PEA RIDGE, BENTON COUNTY, ARKANSAS,  
FILED: MARCH 1, 2024.

THIS PROPERTY IS NOT IN FLOOD ZONE "A" OR "AE", AND IS OUTSIDE THE ONE-YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM'S FIRM PANEL NUMBER 05007C0105J, EFFECTIVE DATE SEPTEMBER 28, 2007..

THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, NO INDEPENDENT STUDY OF THE LIKELIHOOD OF FLOODING OF THE SURVEYED PROPERTY HAS BEEN DONE BY THE SURVEYOR. THE AREA OF FLOODING AS INCLUDED IN THE SURVEY, THE FLOOD HAZARD ZONE BOUNDARIES SHOWN HEREON WERE SCALED FROM THE MAPS CITED AND ARE NOT THE RESULT OF INDEPENDENT COMPUTATION OR ANALYSIS.

CRAFTON TULL CANNOT CERTIFY THE SITE AS COMPLETE IN ORDER TO OBTAIN THE CERTIFICATE OF OCCUPANCY UNTIL ALL DISTURBED AREAS RELATED TO THE CONSTRUCTION OF THE PROJECT, BOTH ONSITE AND OFFSITE, HAVE BEEN STABILIZED PER THE PLANS AND SPECIFICATIONS AND ALL REQUIREMENTS SPOILED OUT IN PERMITS ISSUED BY THE STATE AND LOCAL AUTHORITIES HAVE BEEN MET.

JAMESON PLACE  
PEA RIDGE, AR

[illegible]

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PROJECT NO: \_\_\_\_\_  
 ISSUE DATE: 06/16/2025  
 CONTRACT: C. THREE  
 QC by: \_\_\_\_\_  
 QC Date: \_\_\_\_\_

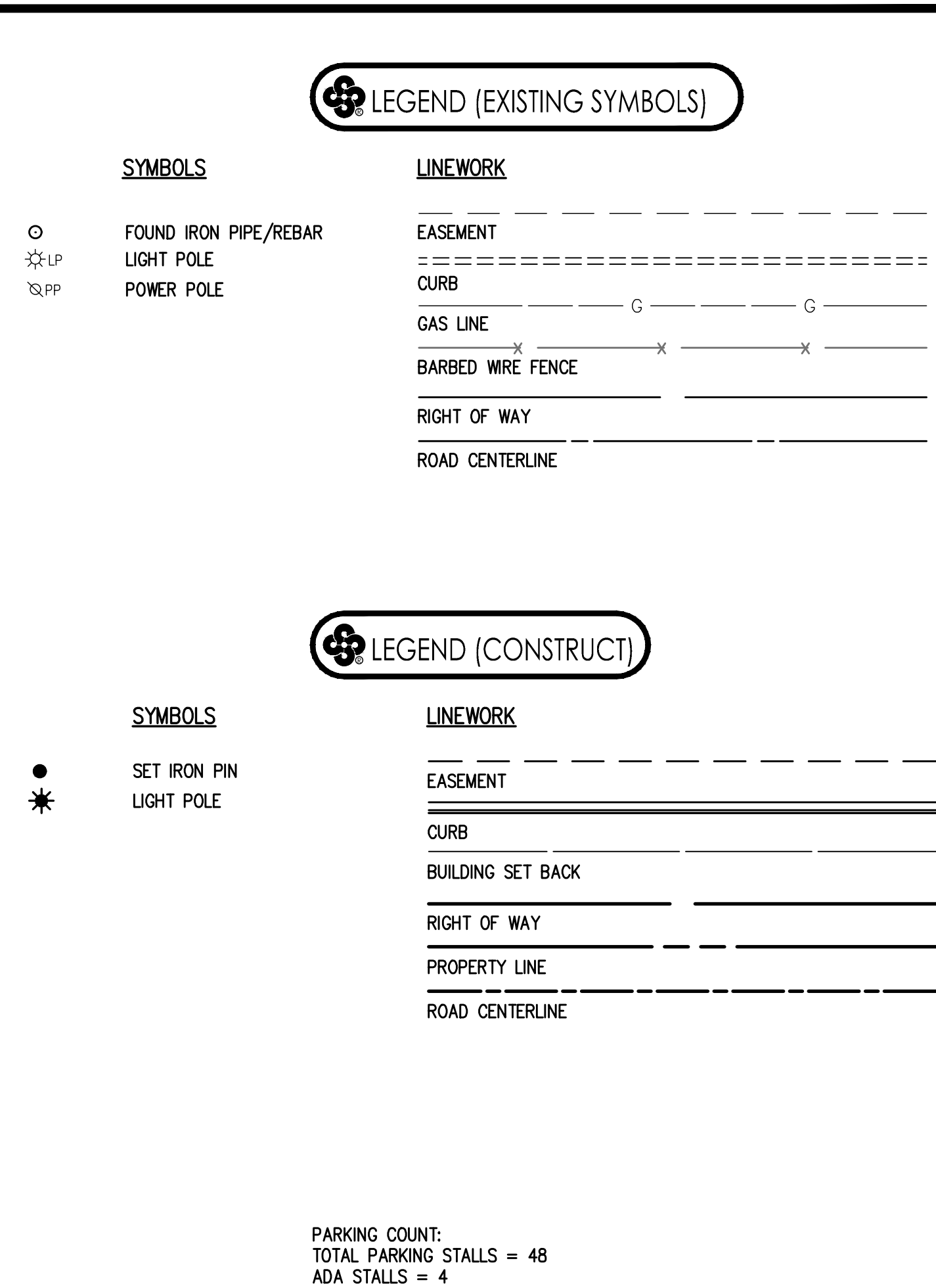
**PRELIMINARY  
 PLANS**

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COVER SHEET

C-001



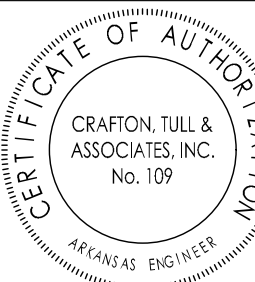


1. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHOULD BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS ONLY.
2. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY/STATE/FEDERAL REGULATIONS AND CODES AND OSHA STANDARDS.
3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT ENTRANCE LOCATION.
4. ALL CURB DIMENSIONS AND RADII ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
5. ALL PAVEMENT MARKINGS DIMENSIONS FACE OF CURB UNLESS OTHERWISE NOTED.
6. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
7. ALL CURB/SIDEWALK/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR LOCAL RESTRICTIVE CODES, WHICHEVER IS MORE RESTRICTIVE.
8. CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION START.
9. CONTRACTOR SHALL MATCH NEW CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
10. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.
11. CERTAIN SITE AMENITIES, INCLUDING BUT NOT LIMITED TO DUMPSTER ENCLOSURES, FENCES, GATES, MAIL KIOSKS, PLAYGROUNDS, RECREATIONAL, SOCIAL, AND GATHERING FEATURES, SHALL BE DESIGNED AND SPECIFIED BY OTHERS. DUMPSTER ENCLOSURES DETAILED DESIGN AND SPECIFICATIONS SHALL BE PROVIDED BY THE OWNER/PROJECT ARCHITECT AND SHALL MEET LOCAL JURISDICTION DESIGN STANDARDS AND SPECIFICATIONS, IF APPLICABLE, AND THE REQUIREMENTS OF THE PROJECT'S SERVICE PROVIDER. IF APPLICABLE, THE ARCHITECT SHALL PROVIDE, COORDINATE, AND SUBMIT DETAILS FOR THE DUMPSTER ENCLOSURE FOOTPRINT AND SITE PLACEMENT REQUIREMENTS TO CRAFTON TULL.
12. OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL NECESSARY WARNING AND LIFE SAFETY SIGNS AND DEVICES ASSOCIATED WITH THIS PROJECT.



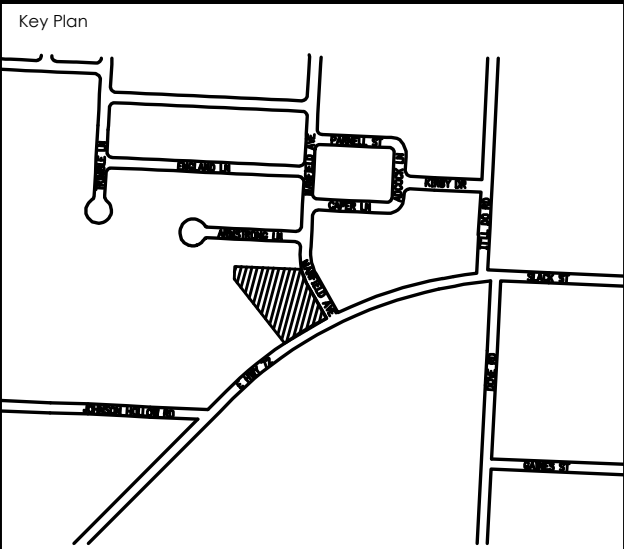
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GRAPHIC SCALE IN FEET

## PEA RIDGE, AR

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PROJECT NO:

ISSUE DATE: 06/16/2021

CONTACT: C THREE

QC by:

QC Date:

## PRELIMINARY

PRELIMINARY

## PLANS

## PLANNING

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OVERALL SITE

OVERALL SITE

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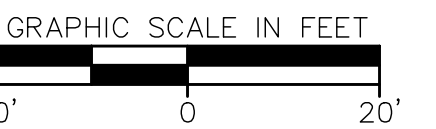
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The Key Plan shows the site layout with the following details:

- Existing Building:** A large rectangular building with a central section labeled 'EXISTING BUILDING'.
- Proposed Extension:** A smaller rectangular building labeled 'PROPOSED EXTENSION' located to the right of the existing building.
- Access Road:** A road labeled 'ACCESS ROAD' runs along the bottom of the site.
- Surrounding Roads:** Roads labeled 'ROAD 1' and 'ROAD 2' are shown to the left and right of the site.
- Infrastructure:** A 'WATER MAIN' and 'SEWER MAIN' are indicated along the bottom boundary.
- Topography:** A hatched area indicates a slope or embankment.

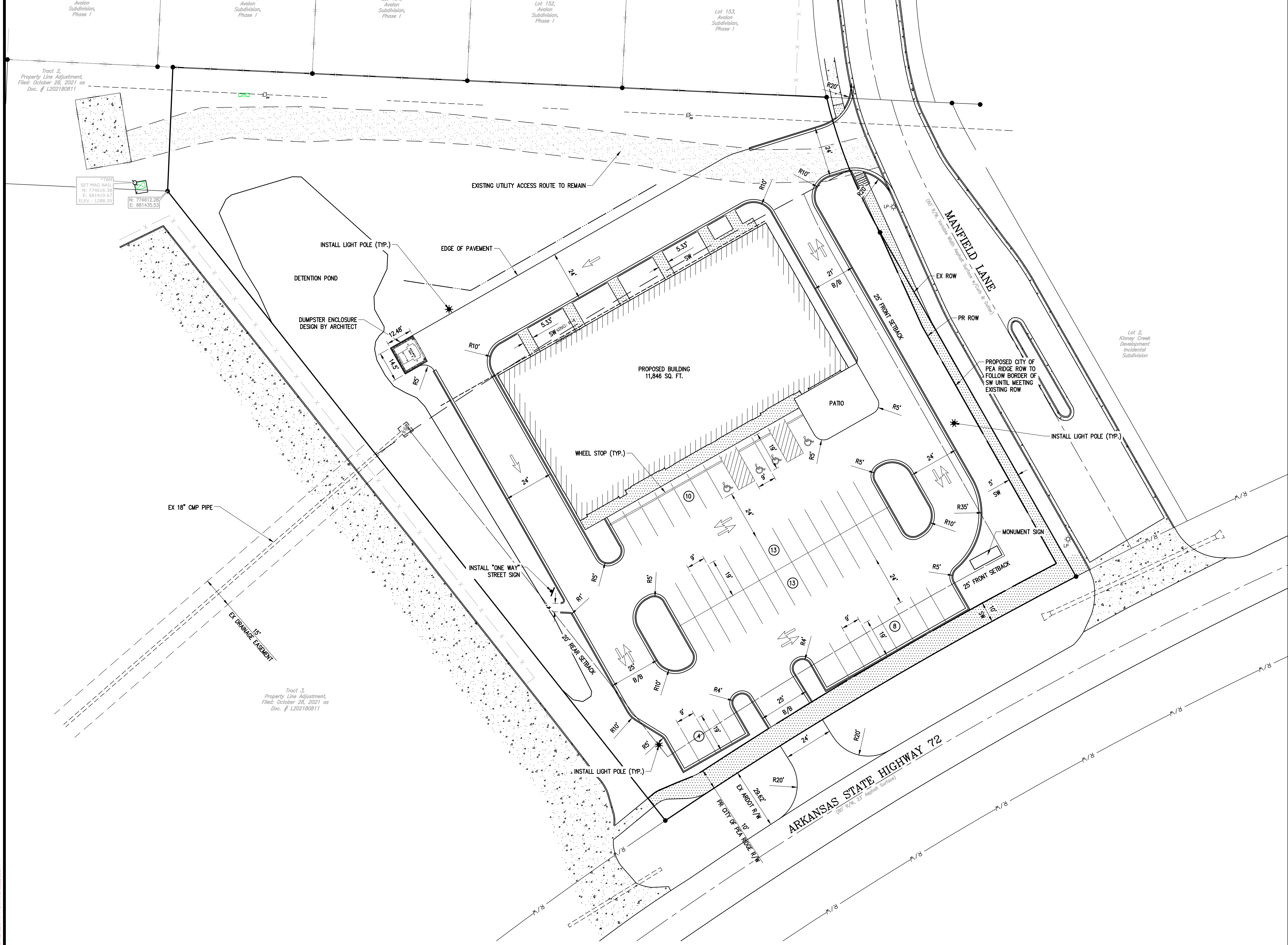
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 GC BY: \_\_\_\_\_  
 GC Date: \_\_\_\_\_

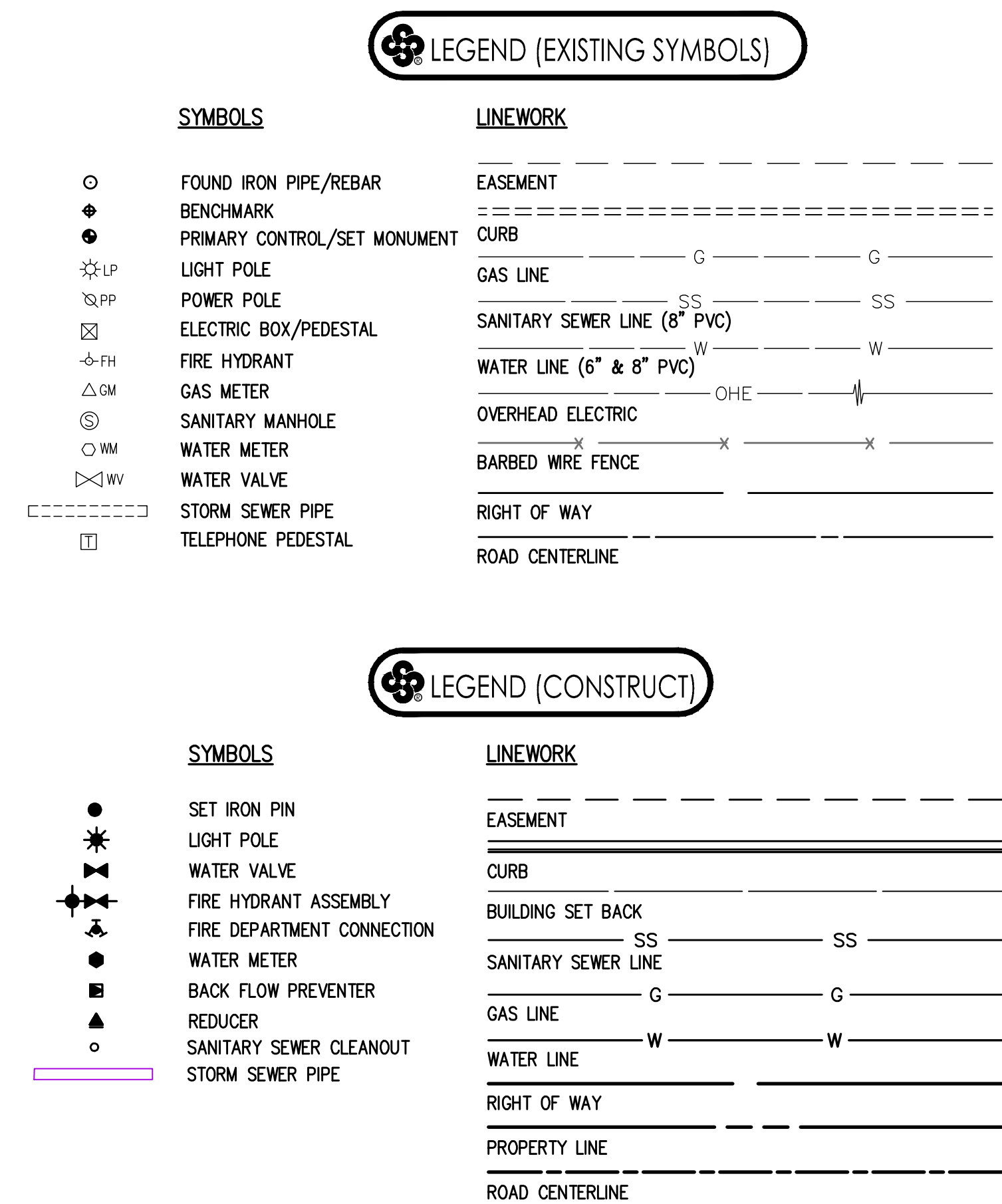
**PRELIMINARY  
 PLANS**

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C-102








1. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES WITHIN THE WORK ZONE.
2. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES' INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING FACILITIES. CONTRACTOR SHALL COORDINATE AND SCHEDULE TIE-INS/CONNECTIONS WITH ALL UTILITY COMPANIES.
3. ALL UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING.
4. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
5. GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES.
6. THRUST BLOCKING SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
7. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
8. MINIMUM HORIZONTAL SEPARATION BETWEEN THE OUTSIDE WALL OF THE

- WATERLINE AND THE OUTSIDE WALL OF THE SANITARY SEWER LINE OR SANITARY SEWER MANHOLE SHALL BE AT LEAST TEN FEET, WHERE WATERLINES CROSS SANITARY SEWERS THE WATERLINE SHALL BE PLACED ABOVE THE SEWER WITH A MINIMUM VERTICAL SEPARATION, OUTSIDE-TO-OUTSIDE, OF 18". IF IT IS NOT POSSIBLE TO CONFORM TO THESE DIMENSIONS OR DEFINED PLACEMENT, THE WATERLINE SHALL BE ENCASED IN WATERPROOF PROTECTION OF THE EXTENSION OF THE WATERLINE, EXTENDING AT LEAST 10 FEET EITHER SIDE OF THE CROSSING.
9. THE CONTRACTOR SHALL INCLUDE IN THE BID PRICE ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES REQUIRED BY THE LOCAL AND/OR STATE AGENCIES.
  10. POPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH FINISHED PAVEMENT ELEVATIONS, AND MANHOLES IN UNPAVED AREAS TO BE 1" ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
  11. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL REGULATIONS.
  12. REFER TO BUILDING PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
  13. ALL MATERIALS, CONSTRUCTION, AND INSPECTION FOR WATER AND SANITARY SEWER LINES SHALL BE PER THE SPECIFICATIONS OF THE APPROPRIATE AGENCY.
  14. THE CONTRACTOR SHALL COORDINATE WITH THE FIRE DEPARTMENT AND THE WATER COMPANY TO PLAN THE IMPROVEMENTS TO THE WATER MAINS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THE PROJECT. CONTRACTOR WILL

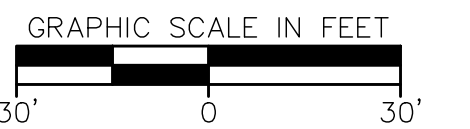
- BE RESPONSIBLE FOR ARRANGING ANY REQUIRED WATER MAIN SHUT-OFFS WITH THE WATER COMPANY DURING CONSTRUCTION. ALL COSTS ASSOCIATED WITH WATERMAIN SHUT-OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR; NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
15. DAMAGE TO ALL EXISTING FACILITIES DESIGNATED TO REMAIN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. EXPENSES WILL BE PAID BY THE CONTRACTOR.
16. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT UTILITY ENTRANCE LOCATIONS.
17. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP AND TIE IN FEES REQUIRED AS WELL AS COSTS OF UNDERGROUND SERVICE CONNECTIONS TO BE BIDDING.
18. GENERAL CONTRACTOR SHALL PROVIDE ALL CONDUITS AS SHOWN ON THE PLANS, VERIFY LOCATION OF UTILITY TIE-INS, AND PROVIDE NYLON PULL CORDS INSIDE THE CONDUIT.
19. THE CONTRACTOR SHALL INCLUDE IN BID PRICE THE DAILY RECORD KEEPING OF THE RECORD CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION TAKE-OUT, PREPARATION OF THE NECESSARY/REQUIRED WATER AND SEWER RECORD DRAWINGS TO BE PROVIDED, AND THE INFORMATION REQUIRED FOR OBTAINING PERMITS AND RELEASE OF BONDS.
20. CONTRACTOR SHALL PROVIDE IN-DITCH AS-BUILT INFORMATION TO ENGINEER AS REQUIRED BY LOCAL UTILITY PROVIDERS

21. **ENERGIZED ELECTRICAL LINE SAFETY WARNINGS AND ADVANCED**  
**NOTICES:** ALL OWNERS, GENERAL CONTRACTORS, AND SUBCONTRACTORS  
ASSOCIATED WITH THIS PROJECT SHALL BE RESPONSIBLE FOR  
FAMILIARIZING THEMSELVES WITH, COMPLYING WITH, AND THE  
ENFORCEMENT OF ARKANSAS CODES AR ST § 11-5-307 AND § AR ST  
11-5-308 AND ANY OTHER CURRENT STATE CODES PERTAINING TO  
ADVANCE NOTICE REQUIREMENTS AND FOR SAFETY OF ALL PERSONNEL,  
INCLUDING THE GENERAL PUBLIC, PERTAINING TO ANY WORK, MOVEMENT,  
AND ACTIVITY IN CLOSE PROXIMITY TO ANY ENERGIZED ELECTRICAL LINE.

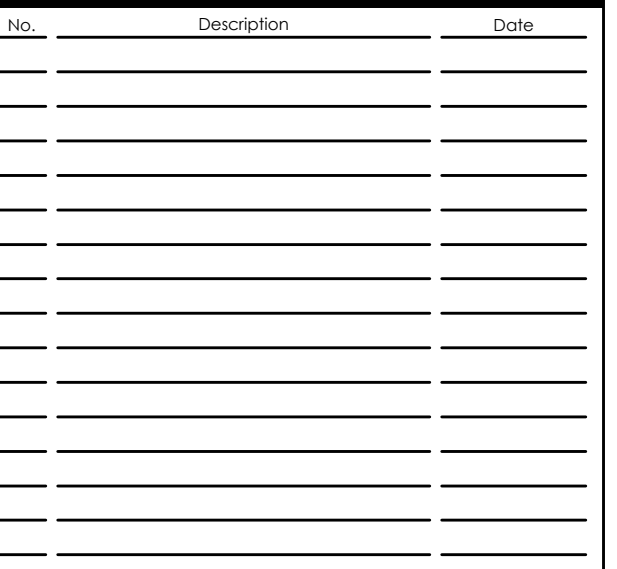
CERTIFICATE OF AUTHORIZATION:



CRAFTON, TULL & ASSOCIATES, INC.  
No. 109  
ARKANSAS ENGINEERS



JAMESON PLACE  
PEA RIDGE, AR



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 CONTACT: C. THREET  
 QC by: \_\_\_\_\_  
 QC Date: \_\_\_\_\_

PRELIMINARY  
 PLANS

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## UTILITY PLAN





1. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS.
2. THE OWNER/CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING AND PROVIDING SEPARATE AND INDEPENDENT RETAINING WALL DESIGNS, INSPECTIONS, AND CERTIFICATIONS BY A REGISTERED PROFESSIONAL ENGINEER OTHER THAN CRAFTON TULL. THIS SHALL ALSO APPLY TO ANY ASSOCIATED AND NECESSARY PUBLIC SAFETY DEVICES INCLUDING, BUT NOT LIMITED TO, PEDESTRIAN SAFETY RAILS.
3. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF UTILITY LOCATIONS, UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES ON SITE OR IN RIGHT-OF-WAY. ALL UTILITIES MUST BE LOCATED PRIOR TO GRADING START.
4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS, GEO-TECHNICAL REPORT, OR LOCAL JURISDICTION, WHICHEVER IS MORE RESTRICTIVE.
5. ALL CUT OR FILL SLOPES SHALL BE A MAX 3:1 SLOPE OR FLATTER UNLESS OTHERWISE NOTED.
6. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
7. ALL STORM SEWER PIPE CONNECTIONS TO STRUCTURES SHALL BE GROUNDED TO ENSURE STRUCTURE IS WATER TIGHT. ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
8. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY WHEN IN PAVED AND TRAFFIC AREAS.
9. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT ANY. SHALL HAVE TRAFFIC BEAMS, RINGS, AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 1" ABOVE FINISH GRADE. LIDS SHALL BE LABELED PER JURISDICTIONAL SPECIFICATIONS.
10. SITE GRADING SHALL NOT PROCEED UNTIL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NOTES PERMIT AND THE SWPPP FOR STORMWATER DISCHARGE ASSOCIATED WITH THE CONSTRUCTION ACTIVITIES.
11. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL TO FINAL GRADE. REFER TO THE LANDSCAPE PLAN.
12. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON PLANS, CONTACT ENGINEER IMMEDIATELY.
13. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS THROUGHOUT ALL PHASES OF CONSTRUCTION.
14. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
15. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS, GEO-TECHNICAL REPORT AND SPECIFICATIONS.
16. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
17. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
18. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.
19. IF WET AREAS ARE ENCOUNTERED ON-SITE THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER FOR THE DESIGN AND PLACEMENT OF A FRENCH DRAIN SYSTEM.
20. CRAFTON, TULL & ASSOCIATES, INC. (CTA) HAS NOT NECESSARILY ESTABLISHED MINIMUM FINISH FLOOR ELEVATIONS FOR EACH INDIVIDUAL BUILDING OR LOT IN THIS SUBDIVISION. WHEN A MINIMUM BUILDING FLOOR ELEVATION IS NOT ESTABLISHED AND NOTED, THE ULTIMATE RESPONSIBILITY FOR THE PROPER GRADING OF EACH INDIVIDUAL LOT OR PARCEL SHALL REST WITH THE LOT'S OWNER. TYPICALLY, THE MINIMUM FINISH FIRST FLOOR ELEVATIONS SHOULD BE AT LEAST TWELVE INCHES (12") ABOVE THE FINISHED TOP OF STREET CURB ELEVATION ASSOCIATED WITH EACH INDIVIDUAL LOT OR PARCEL OR AS REQUIRED BY LOCAL AND STATE CODES.

## SYMBOLS

- |  |                              |
|--|------------------------------|
|     | FOUND IRON PIPE/REBAR        |
|     | BENCHMARK                    |
|     | PRIMARY CONTROL/SET MONUMENT |
|  LP | LIGHT POLE                   |
|  PP | POWER POLE                   |

## LINEWORK

- 
- EASEMENT
- 1206
- CURB
- 1205
- INTERMEDIATE CONTOUR
- INDEX CONTOUR
- BARBED WIRE FENCE
- RIGHT OF WAY
- ROAD CENTERLINE

## SYMBOLS

- SET IRON PIN  
☀ LIGHT POLE

## LINEWORK

- | EASEMENT             |      |
|----------------------|------|
| CURB                 |      |
| INTERMEDIATE CONTOUR | 1206 |
| INDEX CONTOUR        | 1205 |
| BUILDING SET BACK    |      |
| RIGHT OF WAY         |      |
| PROPERTY LINE        |      |
| ROAD CENTERLINE      |      |

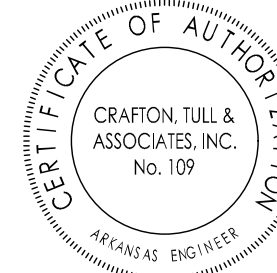
### GRADING PLAN SPOT ELEVATIONS

BW	BOTTOM WALL
FG	FINISHED GRADE
FL	FLOW LINE
G	GUTTER
SW	SIDEWALK
TC	TOP CURB
TP	TOP PAVEMENT
TW	TOP WALL
EG	EXISTING GRADE
FC	FACE OF CURB
HP	HIGH POINT

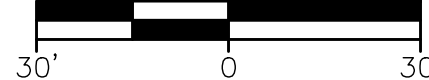


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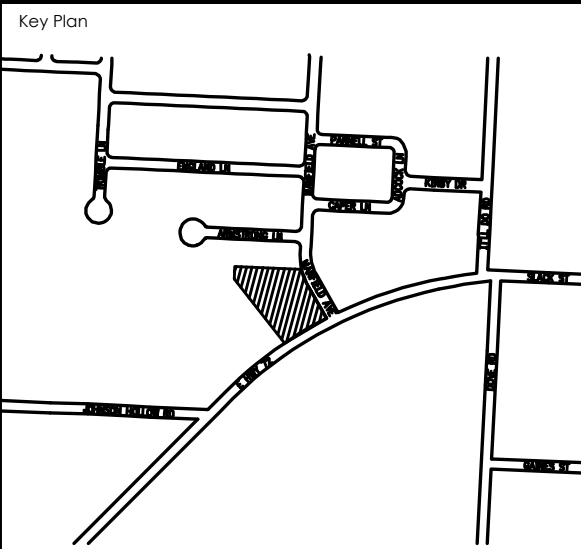


GRAPHIC SCALE IN FEET



JAMESON PLACE

PEA RIDGE, AR

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QC by:  
QC Date:

PRELIMINARY  
PLANS

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## GRADING PLAN

C-104



