



## **Planning Commission & Board of Adjustment**

Pea Ridge City Hall

975 Weston Street

February 3, 2026 | 6:00 p.m.

- I. Call to Order**
- II. Roll Call**
- III. Election of Chair Pro-tempore**
- IV. Nomination and Election of Planning Commission Chair**
- V. Nomination and Election of Planning Commission Vice-chair**
- VI. Review Minutes**
  - 1. December 2, 2025, Planning Commission Meeting
  - 2. January 6, 2026, Planning Commission Meeting
- VII. Announcements**
- VIII. Public Hearings**
  - 1. **Patterson & Artley - Rezone**  
709 Lee Town Road, 897 Lee Town Road, and Property East of 366 South Davis Street  
A, Agriculture to R-2, Medium Density Residential; R-3, High Density Residential;  
and C-2, General Commercial
- IX. Old Business**
- X. New Business**
  - 1. **Patterson & Artley - Rezone**  
709 Lee Town Road, 897 Lee Town Road, and Property East of 366 South Davis Street  
A, Agriculture to R-2, Medium Density Residential; R-3, High Density Residential;  
and C-2, General Commercial
  - 2. **Little Hawks Daycare - Large Scale Development**  
910 East Pickens Road
- XI. Other Business**
  - 1. By-law Amendments
- XII. Board of Adjustments**
- XIII. Adjourn**



# STAFF REPORT

## Patterson & Artley Rezone

<b>Location:</b>	709 Lee Town Road, 897 Lee Town Road, and Property East of 366 South Davis Street
<b>Current Zoning:</b>	A, Agriculture
<b>Land Use Designation:</b>	SLC, Slack and Lee Town Corridor; MUC, Mixed Use Commercial; and RS, Residential Subdivision
<b>Proposed Zone:</b>	R-2, Medium Density Residential; R-3, High Density Residential; and C-2, General Commercial
<b>Owner/Applicant:</b>	Jimmy Patterson, Artley Farms/Jesse Fulcher
<b>Property size:</b>	+/- 56.74 acres

**Request:** Jimmy Patterson, Artley Farms/Jesse Fulcher is requesting to rezone their property from A, Agriculture to R-2, Medium Density Residential; R-3, High Density Residential; and C-2, General Commercial.

**Vicinity Map** (illustrative only):



## **Property Description**

The subject property is located at 709 Lee Town Road, 897 Lee Town Road, and Property East of 366 South Davis Street, parcel numbers 18-04336-000, 18-04336-001, 18-04335-000, 18-04339-000 and 18-04340-000. The property is presently zoned A, Agriculture, with a Future Land Use designation of SLC, Slack and Lee Town Corridor; MUC, Mixed Use Commercial; and RS, Residential Subdivision. Adjacent zoning districts include A, Agriculture to the south and west; R-1, Low Density Residential to the north and west; R-2, Medium Density Residential to the west; and C-2, General Commercial to the west. Adjacent land use designations include SLC, Slack and Lee Town Corridor to the east and west; MUC, Mixed Use Commercial to the east and west; and RS, Residential Subdivision to the north, south, east, and west. The property presently consists of residential and agricultural uses. This property has direct access to Lee Town Road.

## **Relationship to the Comprehensive Land Use Plan**

The proposed rezoning would meet several of the recommendations out of Section II & III of the Comprehensive Land Use Plan, including:

1. Retaining the relatively low-density residential nature of the community
2. Providing a safe living environment that offers quietness and privacy
3. Providing housing at low and medium densities
4. Protecting the character of single-family areas
5. Providing accessible, convenient, and attractive commercial locations

This request is consistent with the Future Land Use Map which designates this property as SLC, Slack and Lee Town Corridor; MUC, Mixed Use Commercial; and RS, Residential Subdivision.

## **Analysis & Recommendation**

This request meets several of the recommendations of the Comprehensive Land Use Plan in this proposed location. This is also a new submission of a previous request. The major difference being the extension of commercial zoning further south and east along Lee Town Road and the extension of R-3 further south along the width of the proposal.

While the proposed zoning boundaries are not coincidental with the Future Land Use designations, taken as a whole, the provided mix of zoning does befit a property of this size with the three Future Land Use designations it possesses. Additionally, it is in keeping with the step down in intensity that the sequence of land use designations provides. Furthermore, our zoning districts are not a 1 to 1 match to our land use categories. Each of our land use categories is able to accommodate several of our zoning districts achieve the vision and description of each land use category.

By accommodating a mix of several zoning districts on a property of this size, the city is able to provide for a neighborhood that will be a mix of several residential and commercial uses. By doing so, people are able to access destinations such as jobs and services without having to travel outside of their neighborhood, let alone their city. It also allows for a neighborhood of housing choice meaning as people age through various life stages and events, they do not necessarily have to leave their neighborhood to attain the housing they want or need.

Given the generally compatible location, general consistency with the Comprehensive Land Use Plan, consistency with the Future Land Use Map, and responsiveness to Planning Commission comments, staff recommends approval of this rezoning request.

## Supplemental Information

### Use Definitions: Ch. 14.04.05 District Regulations

A, Agriculture District. The purpose of this district is to provide for a very low-density single-family district, while helping preserve existing agricultural resources, and to guide the conversion of these lands to higher density residential use when appropriate. Agricultural areas should be protected for development by appropriate standards until they are well served by public facilities and services that will permit higher density residential development.

R-2, Medium Density Residential. This district is intended to accommodate single-family residential uses on moderately sized, medium density lots of at least 8000 square feet. This is the smallest lot size for areas that are exclusively for single-family purposes, and the availability of public sanitary sewer shall be a requirement for R-2 zoning.

R-3, Multi-Family Residential, Varying Densities. This district is to provide for higher density mixes of residential uses including, duplex, triplex, 4-plex and multi-family development complexes. Congregate housing for the elderly is also anticipated in this zone. Areas so classified must have all municipal services available. The maximum density in this district is twelve (12) dwelling units to the acre.

### Future Land Use Categories:

#### RESIDENTIAL SUBDIVISION (RS)

These areas include low-medium density subdivisions; most have already been platted or are in development. These areas consist of primarily single-family detached homes with front loaded lots and attached garages.

MIXED USE COMMERCIAL (MUC) Mixed Use Commercial areas supports commercial uses and include a mix of residential development including single-family attached and multi-unit residential housing. The buildings may be single or multi-storied structures accommodating a mixture of uses inside individual structures. Developments may have individual or shared parking areas and are supported by a well-connected grid network of streets.

SLACK AND LEE TOWN CORRIDOR (SC) The largest commercial area within the City of Pea Ridge, this corridor will have the highest intensity of commercial and residential uses within the city. The mixed-use corridor encourages connected neighborhoods while acknowledging existing conventional, commercial development patterns. The buildings may be single or multi-storied structures accommodating a mixture of uses, including multi-unit residential, within individual structures. Residential uses shall be placed above or behind commercial uses, reserving the corridor frontage for commercial. Developments may have individual or shared parking areas and are supported by a well-connected grid of private and public access points.





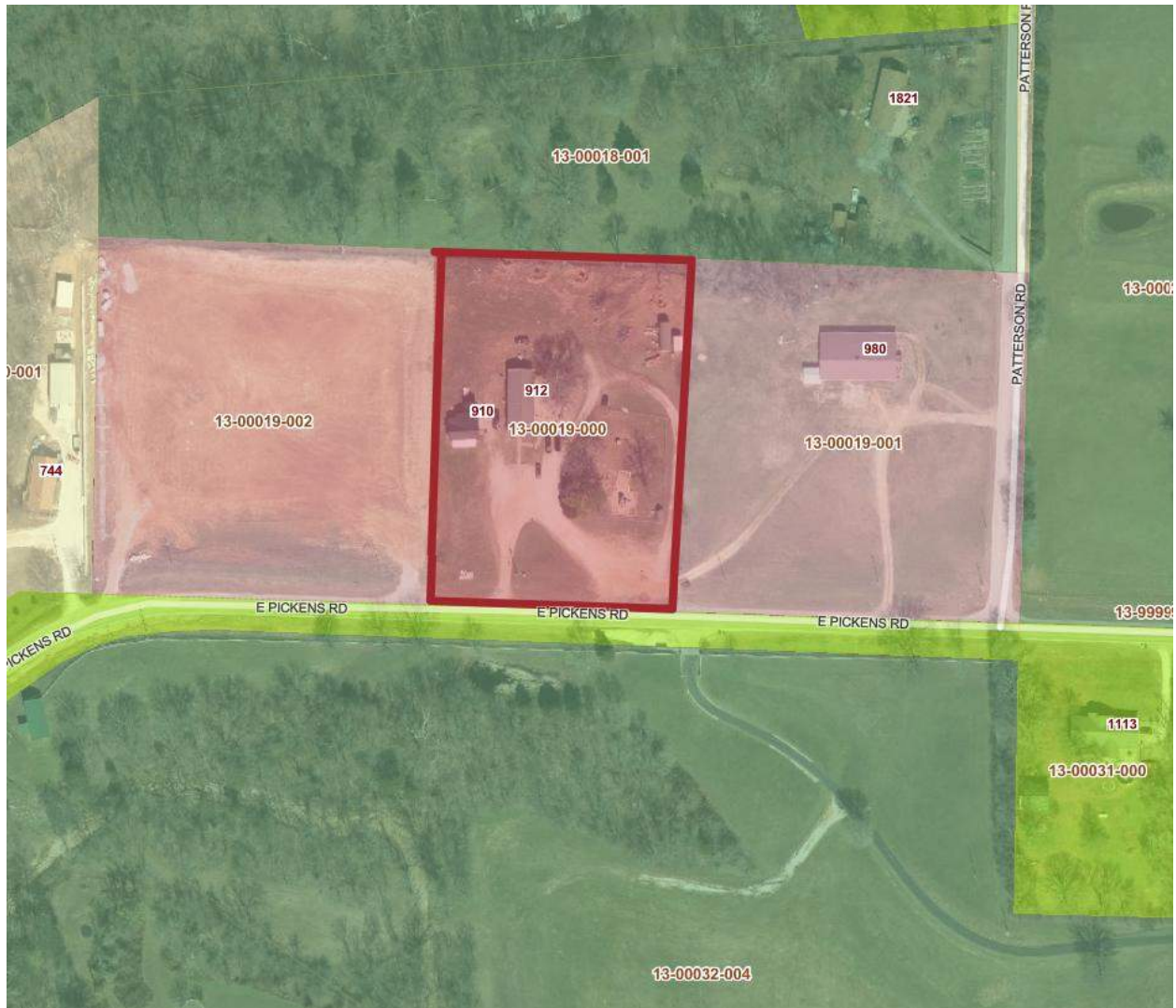


# STAFF REPORT

## Little Hawks Large Scale Development

Location:	910 East Pickens Road
Current Zoning:	C-2, General Commercial
Land Use Designation:	Mixed-Use Commercial
Owner/Applicant:	KKD Inc./Expedient Civil Engineering

Vicinity Map (illustrative only):



## Property Description

The subject property is located at 910 East Pickens Road, being parcel number 13-00019-000. The property is presently zoned C-2, General Commercial, with a Future Land Use designation of MUC, Mixed Use Commercial. The property is presently used as a daycare and supply yard. This property has direct access to East Pickens Road.

## Project Description

The applicant is proposing a Large Scale Development that consists of 1 new structure on the property, a building to be used as a daycare. Parking is located in front of the building, with a total of 39 spaces provided, exceeding the required 12 spaces. Two driveways are proposed on Pickens Road, each spaced adequately from each other and other streets/driveways on Pickens. Stormwater facilities are located in southwest corner of the site and at the rear to the north.

Landscaping provided meets or exceeds our minimum code requirements. Screening is not required as this adjacent to any residential zoning districts.

## Variances

There are no variances requested with this LSD.

## Analysis & Recommendation

The proposed development meets the requirements of the Zoning Ordinance and Building Regulations of the City of Pea Ridge; therefore, staff recommends **approval** of this LSD.

## Supplemental Information

MINIMUM DIMENSION REQUIREMENTS RESIDENTIAL DISTRICTS						
ZONING DISTRICTS						
DIMENSION	A	RE	R-1	R-2	R-3	R-4
Lot size						
Single-family (sq. ft.)	5 ac	1 ac	12,000	8,000	NP	NP
Duplex, Triplex & Four Plex (sq. ft.)	NP	NP	NP	NP	12,000	NP
Nonresidential uses (sq. ft.)	5 ac	1 ac	½ ac	12,000	12,000	12,000
Multi-family (units/acre)	NP	NP	NP	NP	12	1 Story-10 2 Story-18 3 Story- 27
Lot width (all uses)	240'	120'	100'	60'	100'	1 Story- 150' 2 Story-150' 3 Story- 150'
Front setback (all uses)	30'	30'	25'	25'	25'	50'
Side setback (all uses)	15'	15'	8'	8'	8'	1 Story-20' 2 Story-20' 3 Story-25'
Street side setback (all uses)	25'	25'	25'	25'	25'	50'
Rear setback (all uses)	30'	30'	25'	25'	25'	45'
NP = not permitted						

A	Agriculture
RE	Residential Estate
R-1	Low Density Residential
R-2	Medium Density Residential
R-3	High Density Residential
R-4	Multi-Family Residential
C-1	Neighborhood Commercial
C-2	General Commercial
I	Industrial



# LITTLE HAWKS DAYCARE LARGE SCALE DEVELOPMENT PICKENS ROAD PEA RIDGE, ARKANSAS

## CONSTRUCTION NOTES

- CONTRACTOR SHALL RETAIN A FULL SET OF THE LATEST APPROVED CONSTRUCTION PLANS ON SITE DURING CONSTRUCTION ACTIVITIES.
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH THE DEVELOPER'S RESIDENT REPRESENTATIVE.
- CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE SITEWORK SPECIFICATIONS PROVIDED BY EXPEDIENT CIVIL ENGINEERING, PLLC OR AS SPECIFIED BY THE DEVELOPER'S RESIDENT REPRESENTATIVE.
- ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
- PUBLIC CONVENIENCE AND SAFETY:**

THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL ENSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA IN AN ADEQUATE AND SATISFACTORY MANNER IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS AND THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.

## 6. GRADING NOTES:

- THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES EXCEPT THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PAVED AREA. BURNING OF TIMBER AND DEBRIS WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS.
- AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D698. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
- OFF-SITE FILL MATERIAL (SANDY CLAY, CLAYEY SAND, GRAVELLY CLAY, OR CLAYEY GRAVEL), SHALL HAVE A PLASTICITY INDEX OF 15 OR LESS, A LIQUID LIMIT OF 40 OR LESS, A CBR VALUE GREATER THAN 8, AND CONTAIN NO ROCK LARGER THAN 4 INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE DEVELOPER'S REPRESENTATIVE PRIOR TO BRINGING ON SITE.
- AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM-AXLE DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOILS. CUT AREAS ARE TO BE SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D698 AND TESTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BASE MATERIAL.
- IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOILS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE DEVELOPER'S CONSTRUCTION DIVISION ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHALL BE PERFORMED DURING A SUFFICIENT DURATION OF DRY WEATHER PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF THE SUBGRADE FOR COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF SUBGRADE COMPACTION. FOR BASE COURSE AND ASPHALT PAVING.
- ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED. SLOPES STEEPER THAN 3:1, BUT FLATTER THAN 2:1 SHALL BE STABILIZED BY AN APPROVED VEGETATIVE LAYER OR OTHER APPROVED METHODS.
- ALL SLOPES EXCEEDING 2:1 SHALL BE PROTECTED BY RIP-RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS THAT WILL PREVENT EROSION, AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.

- CONTRACTOR SHALL REFER TO THE STORMWATER POLLUTION PREVENTION PLAN AND REPORT FOR STORMWATER QUALITY CONTROL INCLUDING EROSION AND SEDIMENT CONTROL. PROPER MEASURES SHALL BE PRACTICED TO PREVENT EROSION ALONG THE EDGE OF PROPERTY, TOE OF SLOPE, AND ALONG DITCHES. MUD AND DEBRIS ARE NOT ALLOWED TO FLOW ONTO ADJACENT PROPERTIES.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.

## 7. PAVING NOTES:

- ASPHALT CONCRETE SURFACE SHALL BE TYPE 2 PER SECTION 407 AND BASE COURSE MATERIALS SHOULD MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF IN-PLACE ASPHALT CONCRETE COURSES FOR COMPLIANCE WITH REQUIREMENTS FOR THICKNESS AND SURFACE SMOOTHNESS REQUIREMENTS AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.

## 8. CONCRETE NOTES:

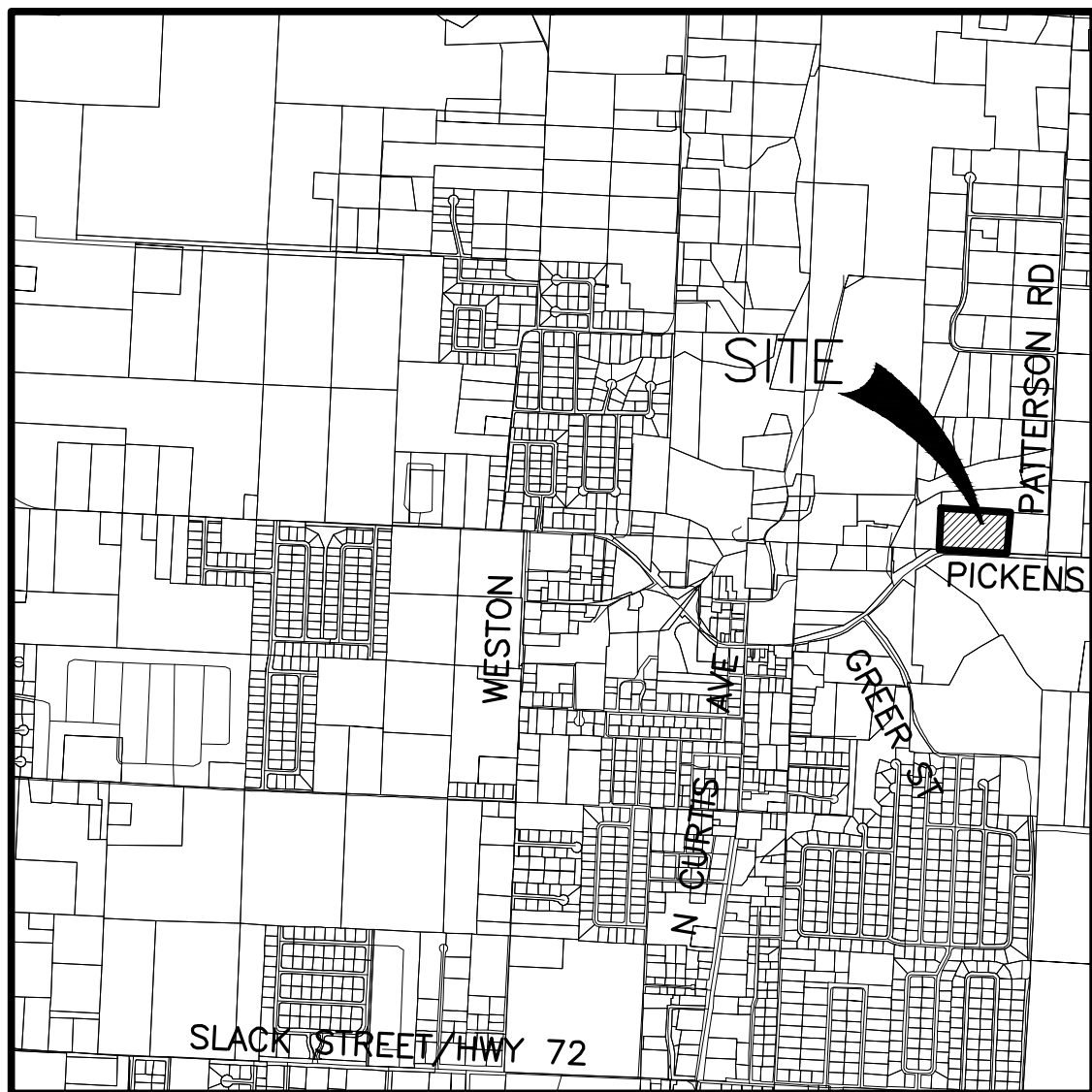
- CONCRETE PAVING AND STRUCTURES SHOULD CONFORM TO THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF CONCRETE FOR COMPLIANCE WITH CONCRETE STRENGTH REQUIREMENTS AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.
- VERTICAL CONCRETE SURFACES EXPOSED TO THE GENERAL PUBLIC SHALL BE WET-RUBBED TO A SMOOTH FINISH AFTER FORMS HAVE BEEN REMOVED. HORIZONTAL SURFACES SHALL BE BROOMED AS REQUIRED IN THE CONSTRUCTION PROJECT SPECIFICATIONS.
- CONTRACTOR IS TO PROVIDE WEAKENED-PLANE (CONSTRUCTION) JOINTS, SECTIONING CONCRETE INTO AREAS AT 10-FOOT ON CENTERS, MAXIMUM EACH WAY. CONSTRUCT WEAKENED-PLANE JOINTS FOR A DEPTH EQUAL TO AT LEAST 1/4" CONCRETE THICKNESS. CONTRACTOR IS TO FURNISH JOINT FILLERS APPROVED BY THE DEVELOPER'S CONSTRUCTION DIVISION OR AS DETAILED ON PLANS.

## 9. UTILITY NOTES:

- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM PEA RIDGE WATER UTILITIES (PRWU), AND THE CONTRACTOR HAS BEEN NOTIFIED BY EXPEDIENT CIVIL ENGINEERING, PLLC.
- CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO PRWU UNLESS DULY AUTHORIZED TO DO SO BY THE PRWU. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. EXPEDIENT CIVIL ENGINEERING, PLLC AND THE DEVELOPER ARE TO BE HELD HARMLESS.
- DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF PRWU AND A REPRESENTATIVE OF EXPEDIENT CIVIL ENGINEERING, PLLC. CONTRACTOR SHALL NOTIFY EXPEDIENT CIVIL ENGINEERING, PLLC AT LEAST ONE WEEK IN ADVANCE, PRIOR TO ANY TESTING.
- ALL WATER AND SEWER MAINS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST PRWU STANDARD SPECIFICATIONS AND DETAILS DATED JULY 2015, AND THE ARKANSAS STATE HEALTH DEPARTMENT REQUIREMENTS, AND SHALL BE INSPECTED BY THE UTILITY INSPECTOR & EXPEDIENT CIVIL ENGINEERING, PLLC.

## 10. BLASTING AND EXPLOSIVE MATERIALS:

- THE CONTRACTOR IS SUBJECT TO ALL FEDERAL, STATE AND LOCAL REGULATIONS GOVERNING THE USE AND STORAGE OF EXPLOSIVE MATERIALS AND IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND LICENSES.
- EXPEDIENT CIVIL ENGINEERING, PLLC ACCEPTS NO RESPONSIBILITY OR LIABILITY PERTAINING TO STORAGE, USE, METHODS, PROCEDURES, SAFETY PRECAUTIONS, TECHNICAL SPECIFICATIONS, CONCERNING BLASTING AND EXPLOSIVE MATERIALS. THE CONTRACTOR SHALL HOLD THE OWNER, ENGINEER, AND THEIR ASSOCIATES HARMLESS WITH REGARD TO BLASTING AND EXPLOSIVE MATERIALS.



## RESOURCE LIST

NAME	ADDRESS	TELEPHONE
DEVELOPER KKD, INC.	912 E. PICKENS ROAD PEA RIDGE, ARKANSAS 72751	(479) 644-2204
BLACK HILLS ENERGY MR. JOSH KNIGHT	1301 FEDERAL WAY PO BOX 2129 LOWELL, ARKANSAS 72745	(479) 333-7005
BRIGHTSPEED		(833) 692-7773
PEA RIDGE WATER UTILITIES MR. JAKE WAGNER	885 N. CURTIS AVE. PEA RIDGE, ARKANSAS 72751	(479) 451-1109
CITY OF PEA RIDGE BUILDING MR. TONY TOWNSEND	975 WESTON STREET PEA RIDGE, ARKANSAS 72751	(479) 451-1122
CITY OF PEA RIDGE (FIRE CHIEF) MR. CLINT BOWEN	293 S. CURTIS AVE. PEA RIDGE, ARKANSAS 72751	(479) 451-1111
CITY OF PEA RIDGE PLANNING MR. KEEGAN STANTON	975 WESTON STREET PEA RIDGE, ARKANSAS 72751	(479) 451-1122
CARROLL ELECTRIC MR. DALTON MOORE	707 SE WALTON BLVD BENTONVILLE, ARKANSAS 72712	(479) 273-2421
COX COMMUNICATIONS MR. JASON COMBS	4901 S. 48TH STREET SPRINGDALE, ARKANSAS 72763	(479) 365-2402
UTILITY LOCATIONS ARKANSAS ONE-CALL SYSTEM, INC.		1-800-482-8998

## NOTE TO CONTRACTOR:

THE CONTRACTOR SHALL NOT TAKE ANY ADVANTAGE OF ANY APPARENT ERROR OR OMISSION IN THE PLANS OR SPECIFICATIONS. IN THE EVENT THE CONTRACTOR DISCOVERS SUCH AN ERROR OR OMISSION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. THE ENGINEER WILL THEN MAKE SUCH CORRECTIONS AND INTERPRETATIONS AS MAY BE DEEMED NECESSARY FOR FULFILLING THE INTENT OF THE PLANS AND SPECIFICATIONS.

## SHEET INDEX

No.	DESCRIPTION	PLOT DATE	
		No.	DATE
C1.0	COVER SHEET	0	12/22/2025
C2.0	SURVEY	0	12/22/2025
C3.0	DEMOLITION & STORMWATER POLLUTION PREVENTION PLAN	0	12/22/2025
C4.0	SITE PLAN	0	12/22/2025
C5.0	GRADING PLAN	0	12/22/2025
C5.1	STORM SEWER LINE 'A', 'B' & 'C' PLAN & PROFILE	0	12/22/2025
C6.0	UTILITY PLAN	0	12/22/2025
C7.0	OFF-SITE SANITARY SEWER PLAN & PROFILE	0	12/22/2025
C8.0	DETAILS	0	12/22/2025
C9.0	DETAILS	0	12/22/2025
C10.0	DETAILS	0	12/22/2025
L1.0	LANDSCAPE PLAN	0	12/22/2025

## NOTE:

NO CHANGE MAY BE MADE TO THESE APPROVED PLANS WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY OF PEA RIDGE.

## CERTIFICATE OF APPROVAL:

PURSUANT TO THE PEA RIDGE LARGE SCALE DEVELOPMENT REGULATIONS AND ALL OTHER CONDITIONS AND APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXEXECUTED UNDER AUTHORITY OF SAID RULES AND REGULATIONS.

DATE OF EXECUTION: \_\_\_\_\_

PEA RIDGE PLANNING DIRECTOR \_\_\_\_\_

## CERTIFICATE OF ENGINEERING ACCURACY:

I, JASON E. INGALLS, HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A PLAN MADE UNDER MY DIRECTION AND COMPLIES WITH THE ENGINEERING REQUIREMENTS SET FORTH IN PEA RIDGE LARGE SCALE REGULATIONS.

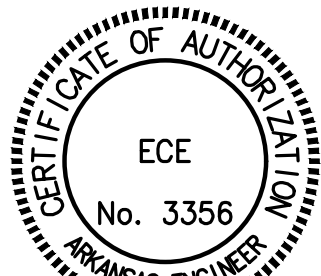
DATE OF EXECUTION: \_\_\_\_\_

REGISTERED ENGINEER \_\_\_\_\_

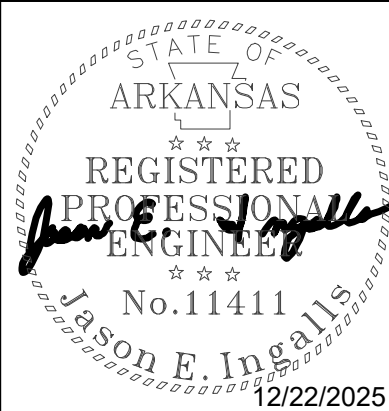
I, \_\_\_\_\_ HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE SHOWN CORRECTLY.

DATE OF EXECUTION: \_\_\_\_\_

REGISTERED LAND SURVEYOR STATE OF ARKANSAS REGISTRATION NO.: \_\_\_\_\_



NOT FOR CONSTRUCTION



Date	Comments	Rev

LITTLE HAWKS DAYCARE LARGE-SCALE DEVELOPMENT  
PEA RIDGE, ARKANSAS  
912 E. PICKENS ROAD  
KKD, INC.  
P.O. BOX 176, PEA RIDGE, ARKANSAS 72751

3200 SUITES DR. STE. B  
BELLA VISTA, AR 72714  
D: (479) 367-2924  
M: (505) 758-5300  
EMAIL: jason@ecelinc.com



Expedient Civil Engineering, PLLC

DRAWN BY:  
JEI

CHECKED BY:  
JEI

DATE  
12/22/2025

JOB NUMBER  
25-1042

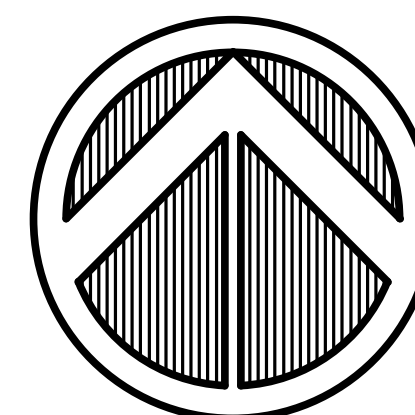
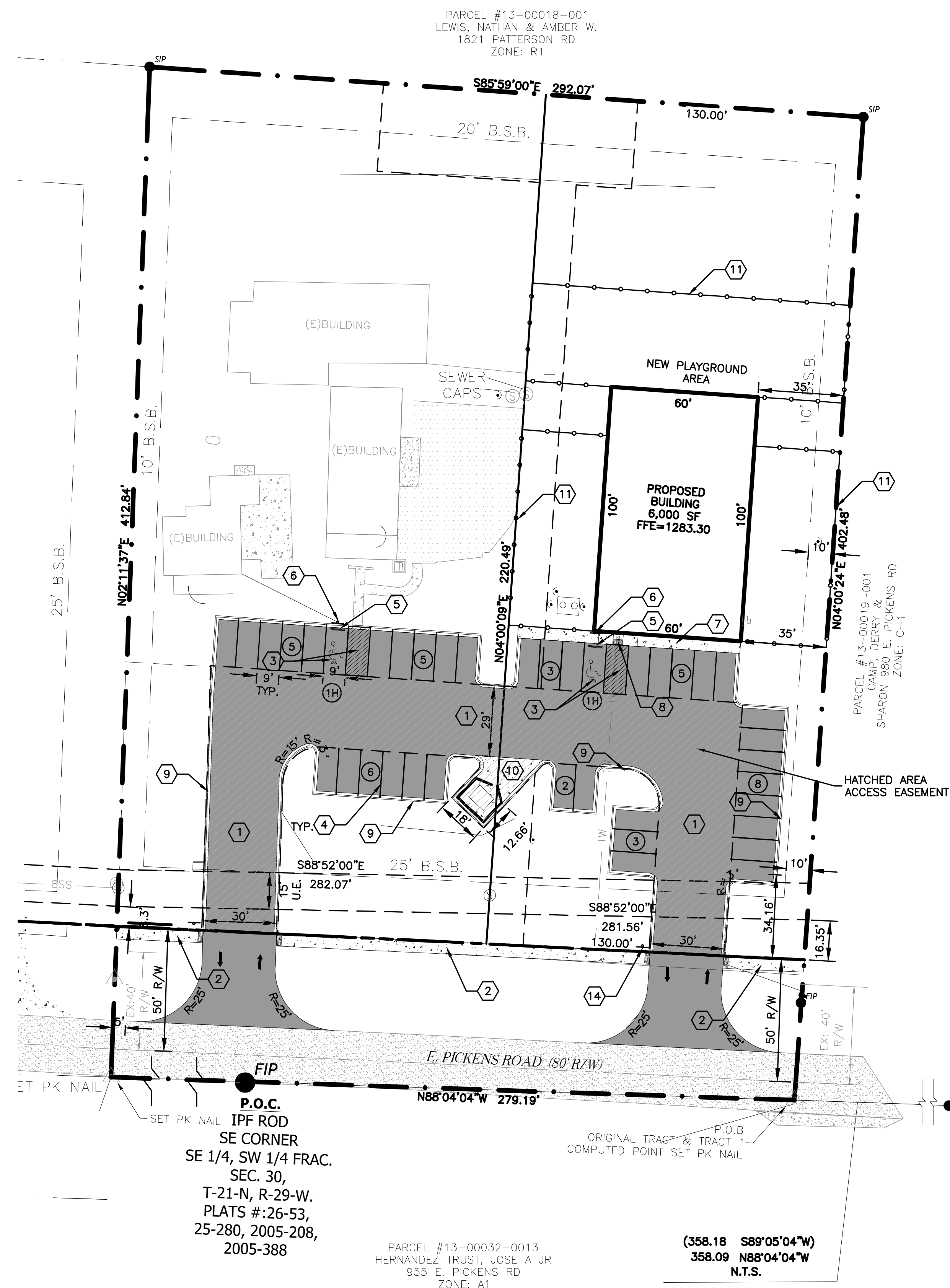
SHEET NAME

COVER  
SHEET

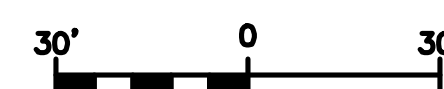
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C1.0





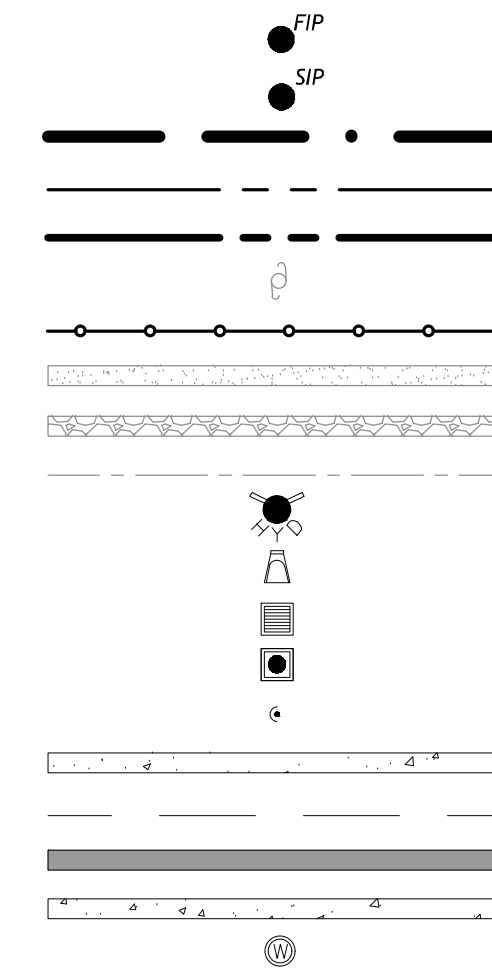
NORTH



**SCALE 1"=30'**

**LEGEND**

FOUND IRON PIN  
SET IRON PIN  
PROPERTY LINE  
ARDOT RIGHT-OF-WAY  
PEA RIDGE RIGHT-OF-WAY  
EXISTING POWER POLE  
PROPOSED FENCE  
EXISTING ASPHALT  
EXISTING GRAVEL ROAD  
EXISTING CENTERLINE OF ROAD  
PROPOSED FIRE HYDRANT  
PROPOSED FLARED END SECTION  
PROPOSED GRATED INLET  
PROPOSED JUNCTION BOX  
PROPOSED CLEANOUT  
PROPOSED 5' SIDEWALK  
PROPOSED SETBACK  
PROPOSED STANDARD ASPHALT  
PROPOSED HEAVY DUTY CONCRETE  
PROPOSED WATER METER



ENGINEER:

EXPEDIENT CIVIL ENGINEERING, PLLC  
9200 SUITS US DR, STE. B  
BELLA VISTA, AR 72714  
(479) 364-0028

DEVELOPER:

KKD, INC.  
P.O. BOX 176  
PEA RIDGE, ARKANSAS 72751

ZONING:

C-1

BUILDING SETBACKS:

FRONT: 25'  
SIDE: 10'  
REAR: 20'

**PARKING REQUIREMENTS:**

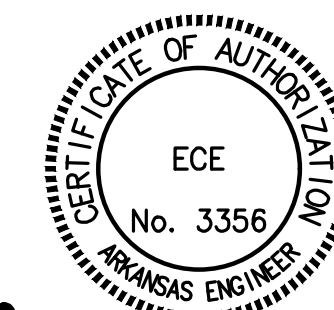
- 1 SPACE PER EMPLOYEE AND/OR ATTENDANT, PLUS 2 SPACES
- TOTAL NUMBER OF EMPLOYEES – 10 EMPLOYEES
- NUMBER OF PARKING SPACES REQUIRED – 12 SPACES
- NUMBER OF STANDARD PARKING SPACES PROVIDED – 37 SPACES
- NUMBER OF ACCESSIBLE SPACES PROVIDED – 2 SPACES
- TOTAL NUMBER OF SPACES PROVIDED – 39 SPACES

NOTES:

1. ALL HVAC EQUIPMENT AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
2. SOLID WASTE SHALL BE CURBSIDE PICKUP.

KEYNOTES:

- ① STANDARD ASPHALT SECTION PER DETAIL **4/C8.0**
- ② 5' CONCRETE SIDEWALK PER DETAIL **6/C8.0**
- ③ ACCESSIBLE PARKING STRIPING PER DETAIL **5/C8.0**
- ④ 4" WHITE PARKING STRIPING
- ⑤ WHEEL STOP PER DETAIL **7/C8.0**
- ⑥ ACCESSIBLE PARKING SIGN PER DETAIL **8/C8.0**
- ⑦ 5' THICKENED EDGE SIDEWALK PER DETAIL **9/C8.0**
- ⑧ ACCESSIBLE RAMP PER DETAIL **10/C8.0**
- ⑨ CURB AND GUTTER PER DETAIL **11/C8.0**
- ⑩ HEAVY DUTY CONCRETE SECTION PER DETAIL **12/C9.0**
- ⑪ CHAIN LINK FENCE PER DETAIL **13/C9.0**



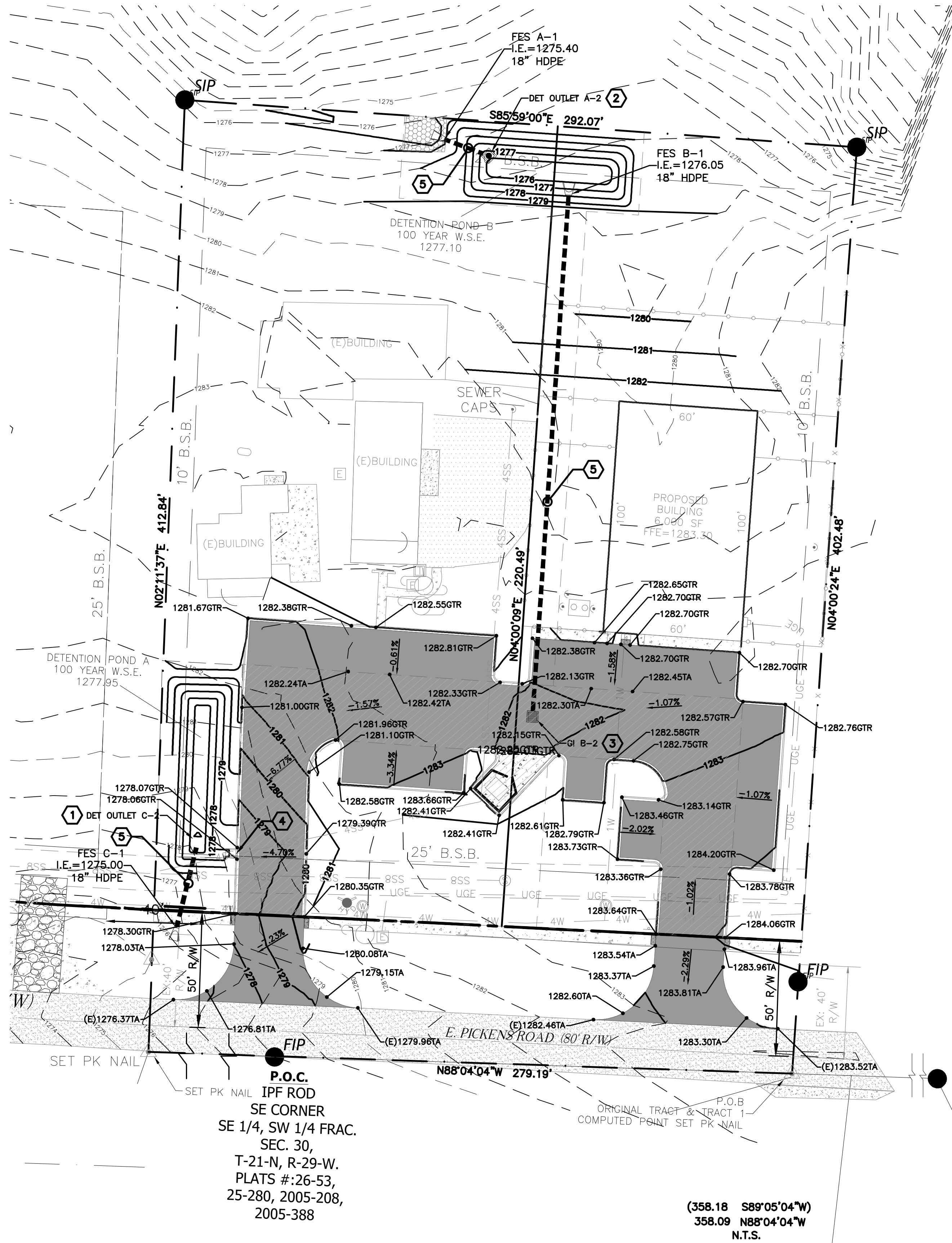
Know what's **below**.  
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<div style="text-align: center;"> </div>					
Date	Comments	Rev			
<b>LITTLE HAWKS DAYCARE LARGE-SCALE DEVELOPMENT</b>  PEA RIDGE, ARKANSAS  910 E. PICKENS ROAD  KKD, INC.  P.O. BOX 176, PEA RIDGE, ARKANSAS 72751					
<p>9200 SUITS US DR. STE. B BELLA VISTA, AR 72714 C 479-877-2026 O 479-877-2024 M 609-759-5300 EMAIL: jason@pee-pilc.com</p>					
<div style="text-align: center;"> <p><b>Expedient Civil Engineering, PLLC</b></p> </div>					
DRAWN BY: JEI					
CHECKED BY: JEI					
DATE 12/22/2025					
JOB NUMBER 25-1042					
SHEET NAME					
SITE PLAN					
File No.					
25-1042.dwg					
C4.0					



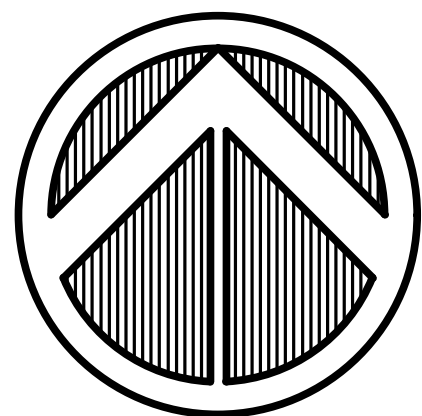
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**KEYNOTES:**

- 1 DETENTION POND A OUTLET STRUCTURE PER DETAIL **14/C9.0**
- 2 DETENTION POND B OUTLET STRUCTURE PER DETAIL **15/C9.0**
- 3 GRATED INLET PER DETAIL **18/C10.0**
- 4 CURB CUT PER DETAIL **16/C9.0**
- 5 EMBED STORM PIPE PER DETAIL **17/C9.0**

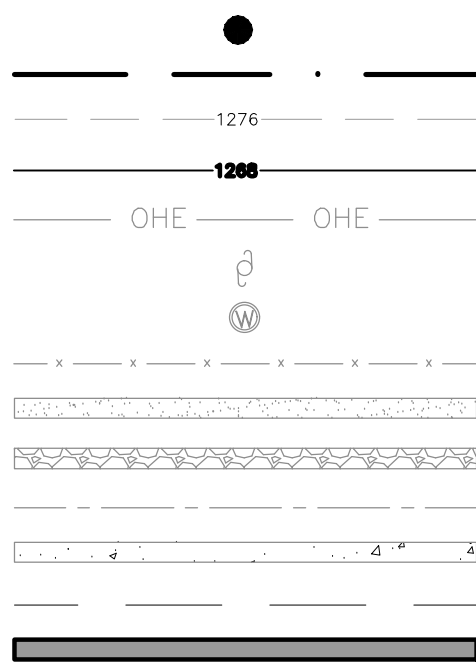
11/C8.0



**NORTH**  
30' 0 30'  
**SCALE 1"=30'**

**LEGEND**

- FOUND IRON PIN
- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING OVERHEAD ELECTRIC
- EXISTING POWER POLE
- EXISTING WATER METER
- EXISTING FENCE
- EXISTING ASPHALT
- EXISTING GRAVEL ROAD
- EXISTING CENTERLINE OF ROAD
- PROPOSED 5' SIDEWALK
- PROPOSED SETBACK
- PROPOSED ASPHALT



**ENGINEER:**

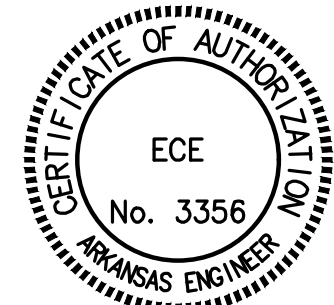
EXPEDIENT CIVIL ENGINEERING, PLLC  
9200 SUITS US DR. STE. B  
BELLA VISTA, AR 72714  
(479) 364-0028

**DEVELOPER:**

KKD, INC.  
P.O. BOX 176  
PEA RIDGE, ARKANSAS 72751

**GRADING NOTES:**

- THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES EXCEPT THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PAVED AREA. BURNING OF TIMBER AND DEBRIS WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS.
- AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
- OFF-SITE FILL MATERIAL(SANDY CLAY, CLAYEY SAND, GRAVELLY CLAY, OR CLAYEY GRAVEL), SHALL HAVE A PLASTICITY INDEX OF 15 OR LESS, A LIQUID LIMIT OF 40 OR LESS, A CBR VALUE GREATER THAN 8, AND CONTAIN NO ROCK LARGER THAN 4 INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE DEVELOPER'S REPRESENTATIVE PRIOR TO BRINGING ON SITE.
- AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM-AXLE DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOILS. CUT AREAS ARE TO BE SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D698 AND TESTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BASE MATERIAL.
- IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOILS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE DEVELOPER'S CONSTRUCTION DIVISION ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHALL BE PERFORMED DURING A SUFFICIENT DURATION OF DRY WEATHER PERIOD.
- THAT THE DETENTION BASINS SHALL BE SODDED.
- CONCRETE DETENTION OVERFLOW WEIRS NEED STABILIZATION ON DOWNSTREAM SIDE OF RIP RAP PAD.



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Date	Comments	Rev

**LITTLE HAWKS DAYCARE LARGE-SCALE DEVELOPMENT**  
910 E. PICKENS ROAD  
PEA RIDGE, ARKANSAS  
KKD, INC.  
P.O. BOX 176, PEA RIDGE, ARKANSAS 72751

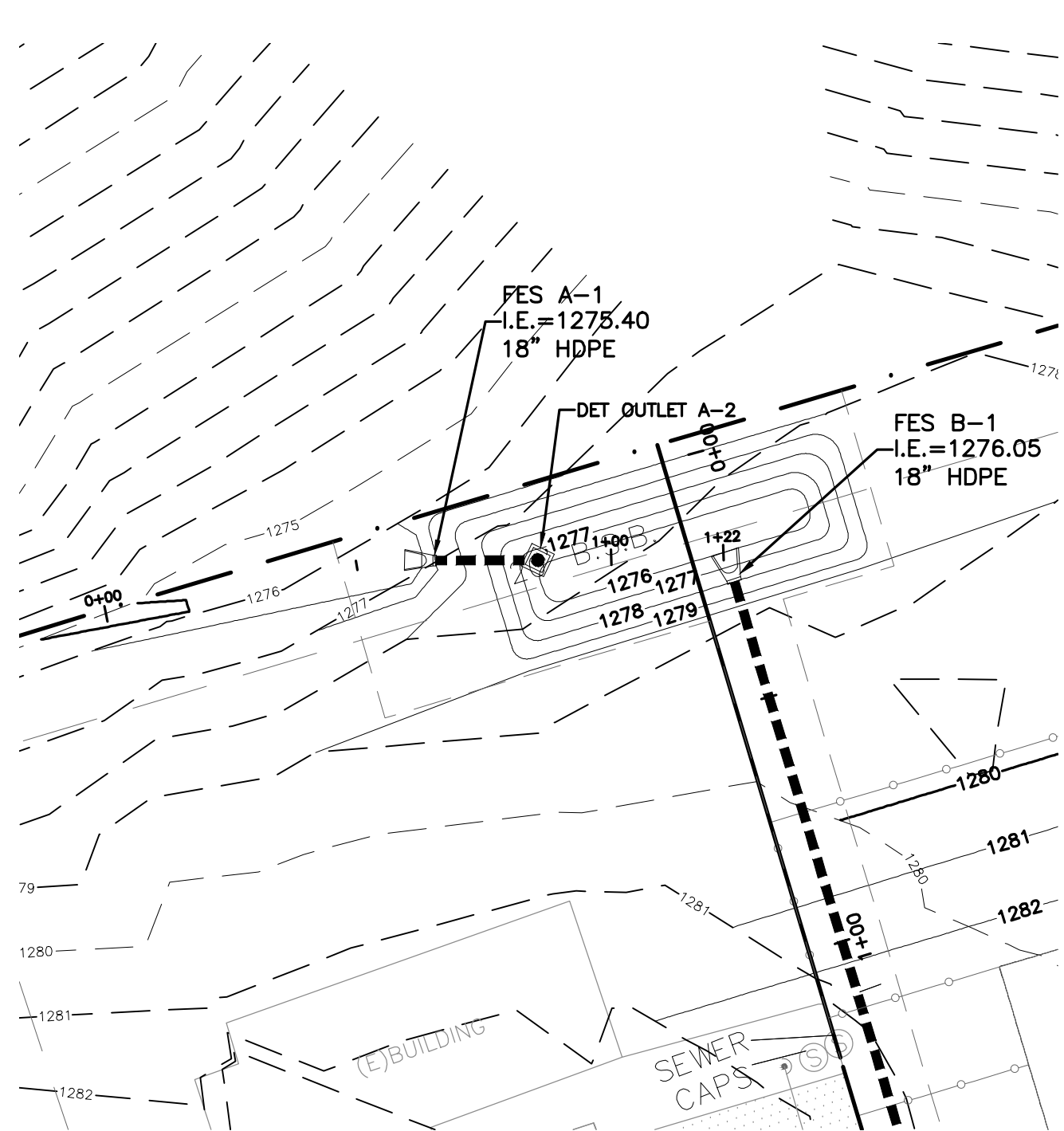
9200 SUITS US DR. STE. B  
BELLA VISTA, AR 72714  
D: (479) 367-2024  
M: (606) 758-5000  
EMAIL: jason@ecce-ark.com



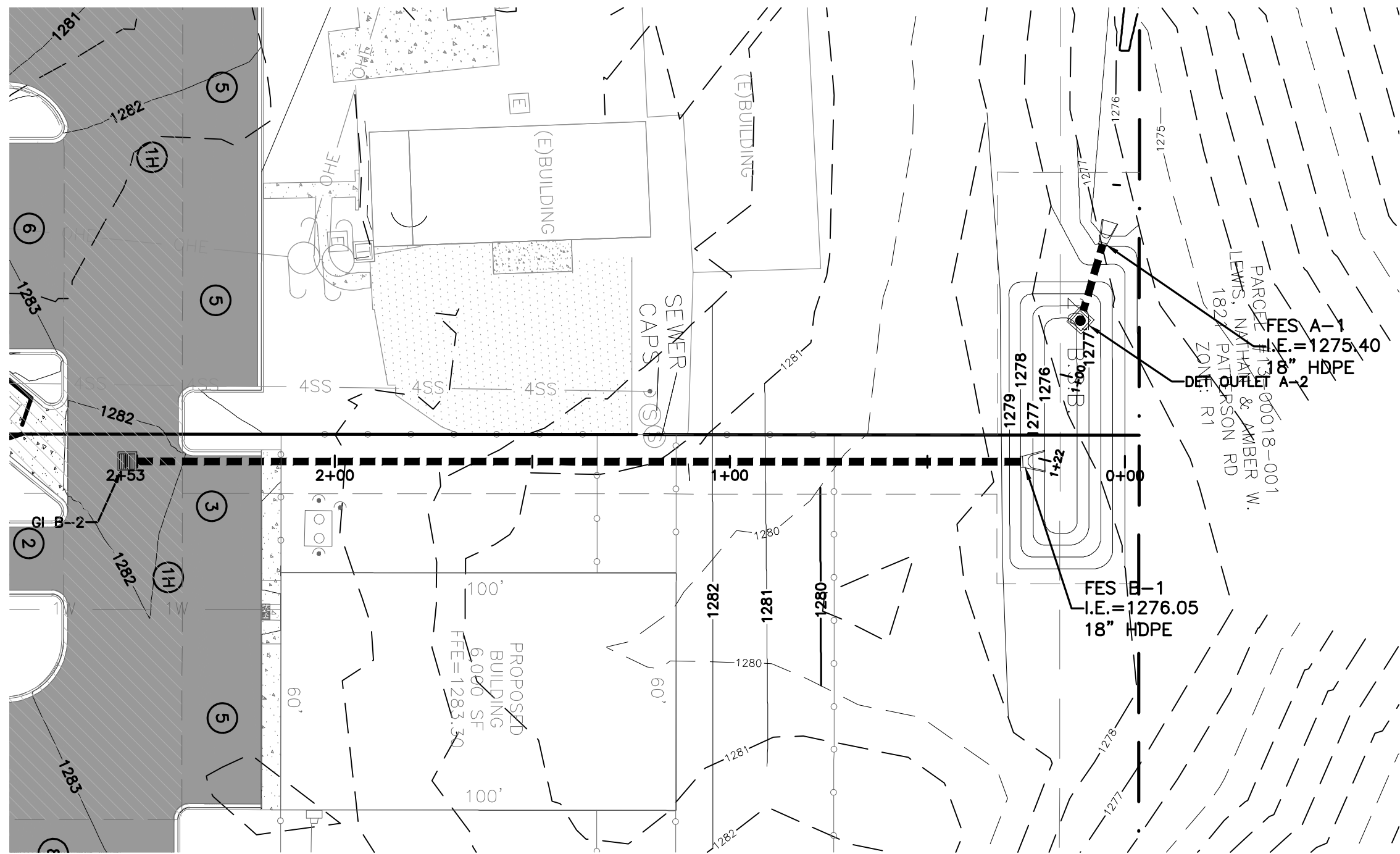
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CHECKED BY:	JEI
DATE	12/22/2025
JOB NUMBER	25-1042
SHEET NAME	GRADING PLAN
File No.	25-1042.dwg
	C5.0



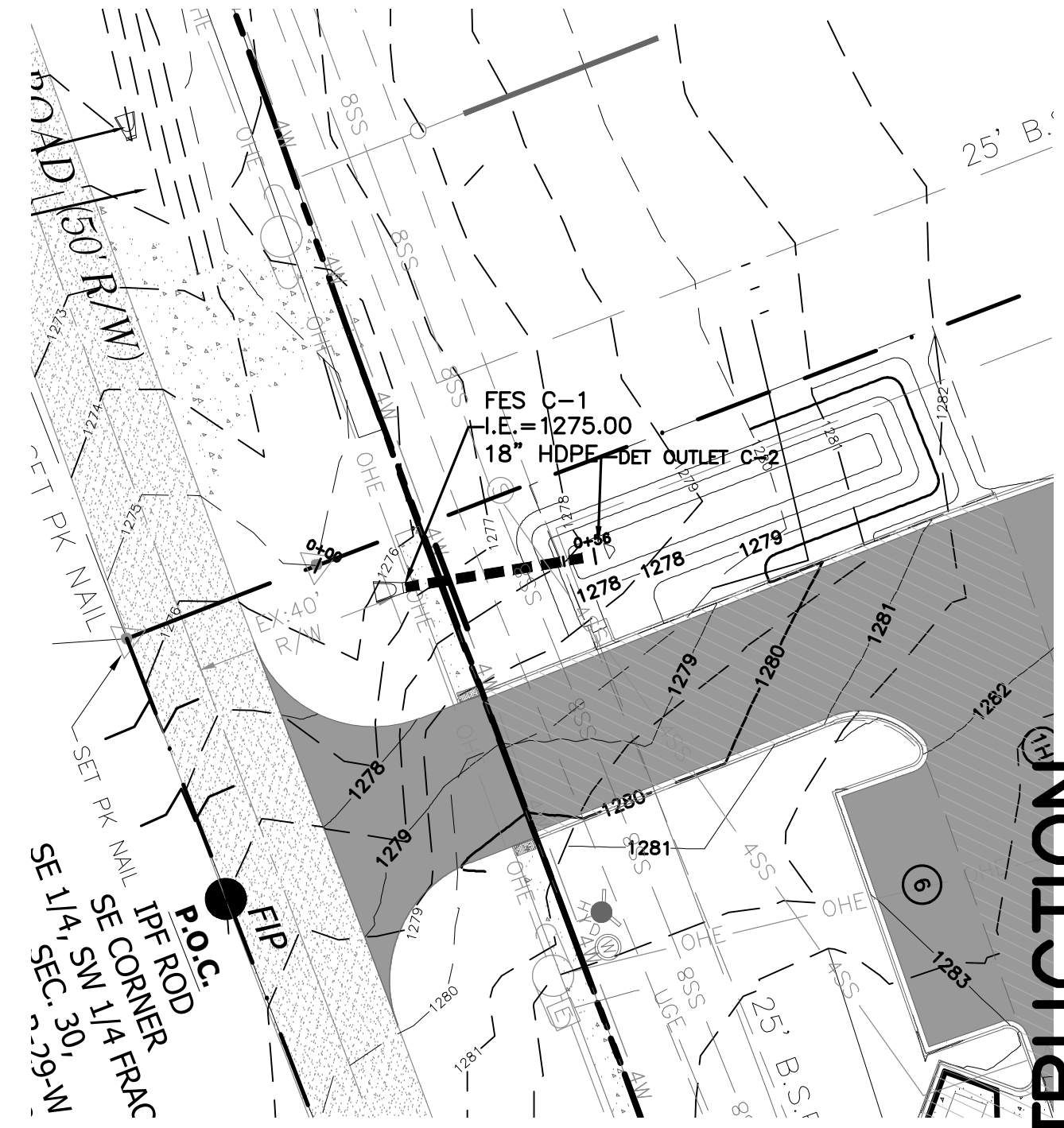
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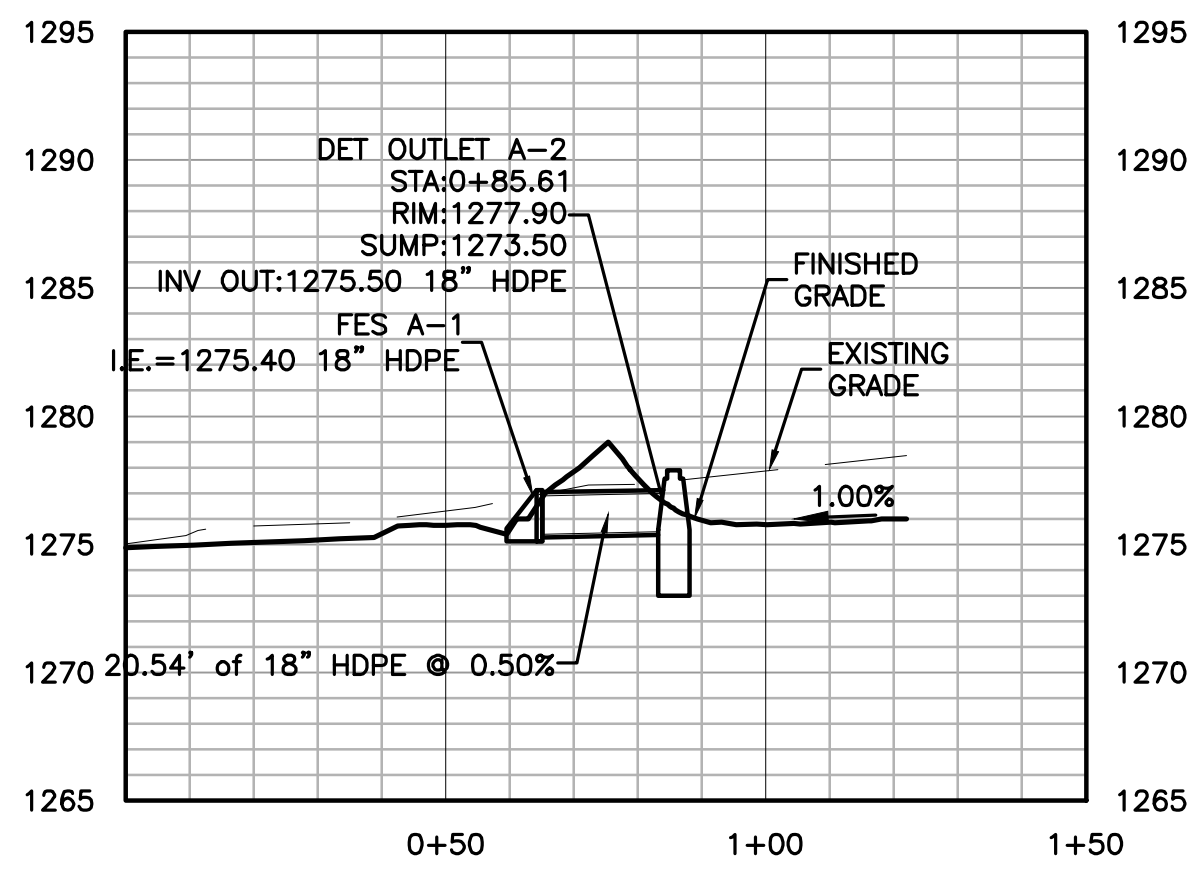
STORM SEWER LINE 'A' PLAN VIEW  
SCALE 1" = 30'



STORM SEWER LINE 'B' PLAN VIEW  
SCALE 1" = 30'



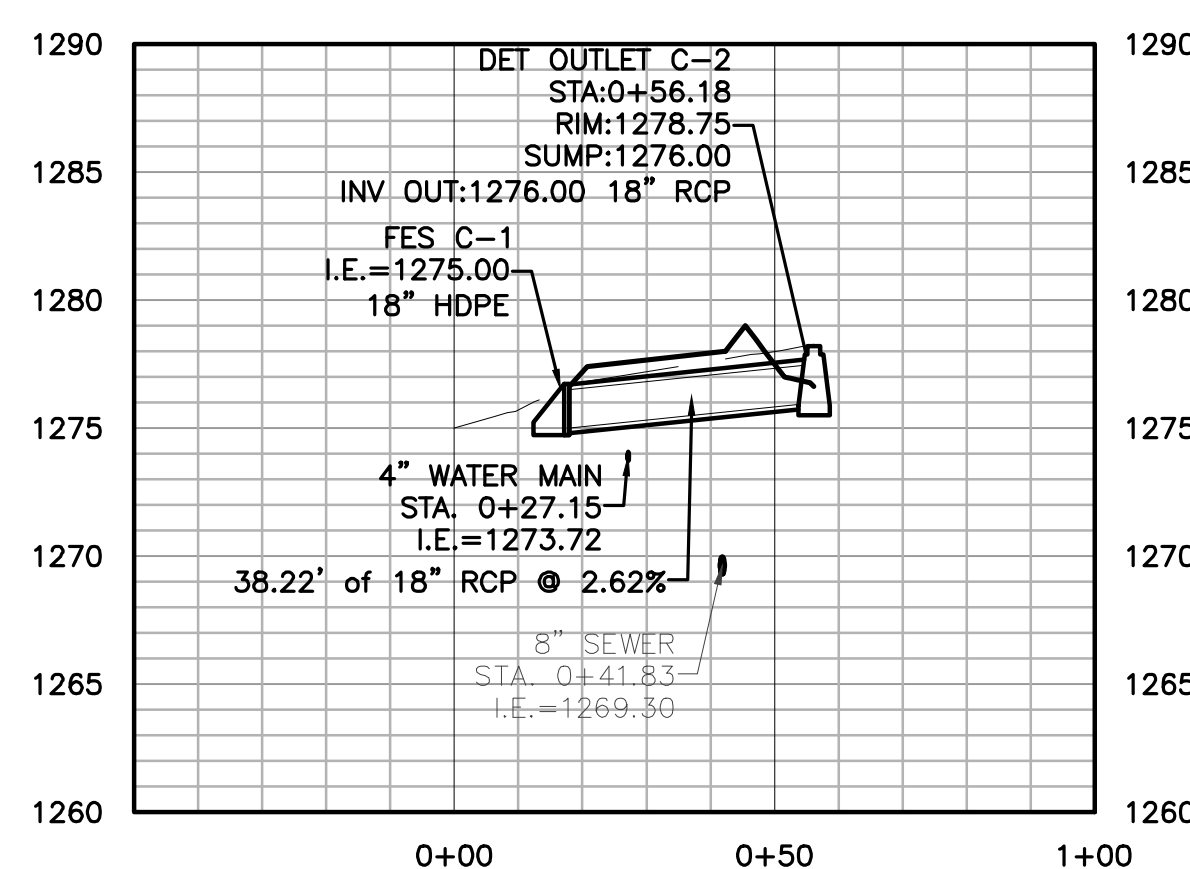
STORM SEWER LINE 'C' PLAN VIEW  
SCALE 1" = 30'



STORM SEWER LINE A (STA. 0+00-1+50)  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 5'



STORM SEWER LINE B  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 5'



STORM SEWER LINE C (STA. -0+50-1+00)  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 5'

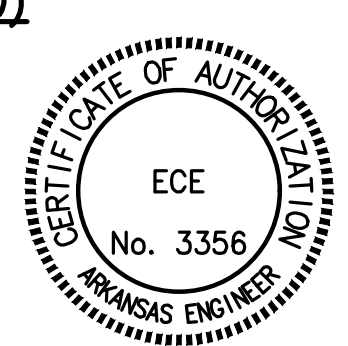
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Date	Comments	Rev

LITTLE HAWKS DAYCARE LARGE-SCALE DEVELOPMENT  
PEA RIDGE, ARKANSAS  
912 E. PICKENS ROAD  
KDD, INC.  
P.O. BOX 176, PEA RIDGE, ARKANSAS 72751

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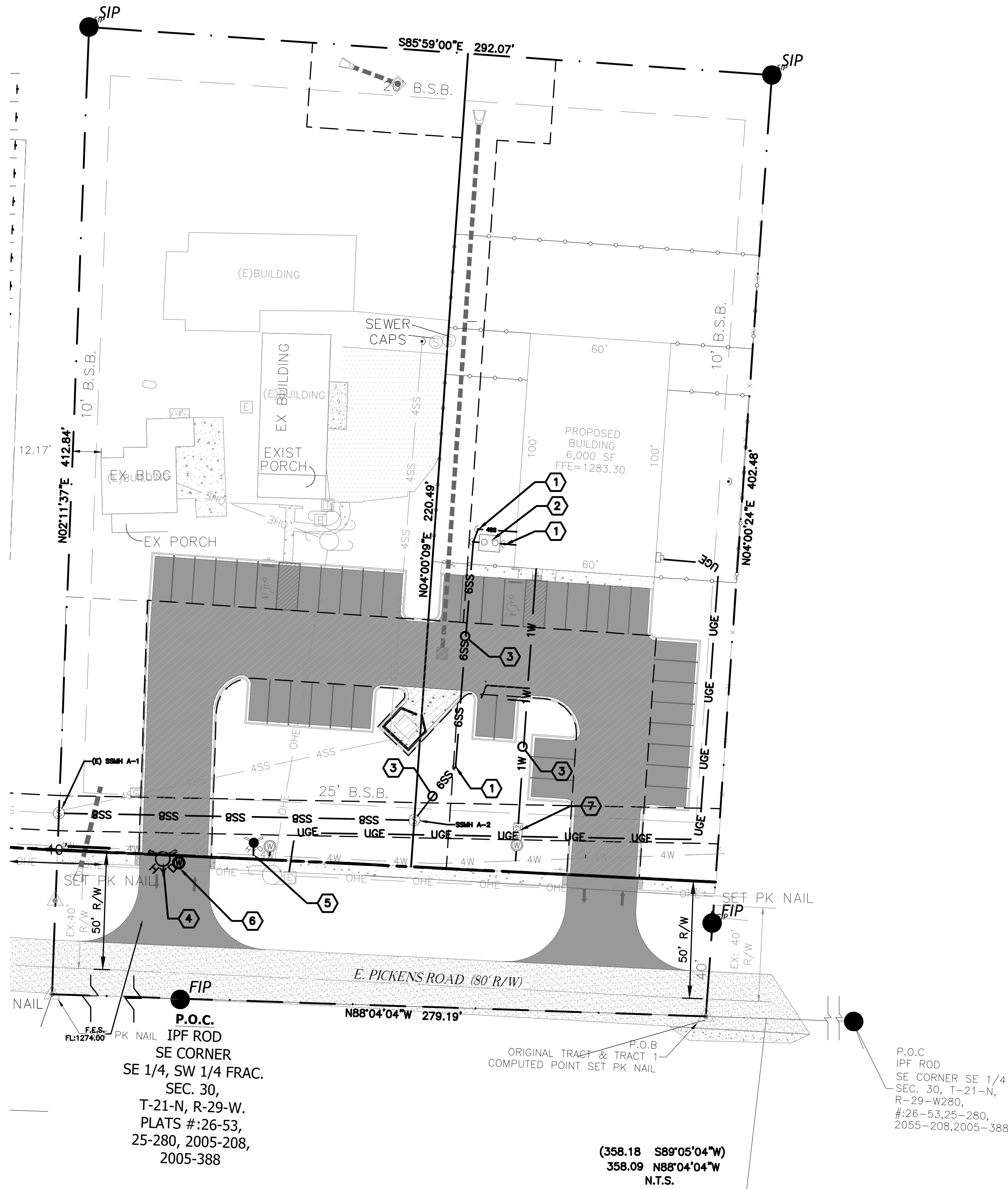


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DRAWN BY: JEI
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DATE 12/22/2025
JOB NUMBER 25-1042
SHEET NAME STORM SEWER LINE 'A', 'B' & 'C' PLAN & PROFILE
File No. 25-1042.dwg
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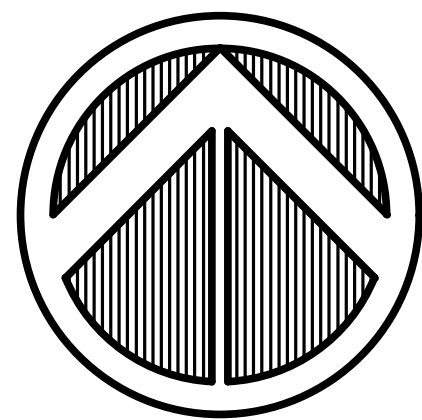
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- 1 SANITARY SEWER CLEAN OUT PER DETAIL 19/C10.0
- 2 1,000 GAL GREASE INTERCEPTOR PER DETAIL 20/C10.0
- 3 EMBED PIPE PER PRWU STD DETAIL/C9.0
- 4 PLUG GATE VALVE AND RELOCATE EXISTING FIRE HYDRANT.
- 5 INSTALL 4" X 4" TAPPING SLEEVE & 4" X 6" REDUCER.
- 6 RELOCATE EXISTING WATER METER
- 7 BACKFLOW PREVENTOR FOR DOMESTIC WATER SERVICE

#### UTILITY NOTES:

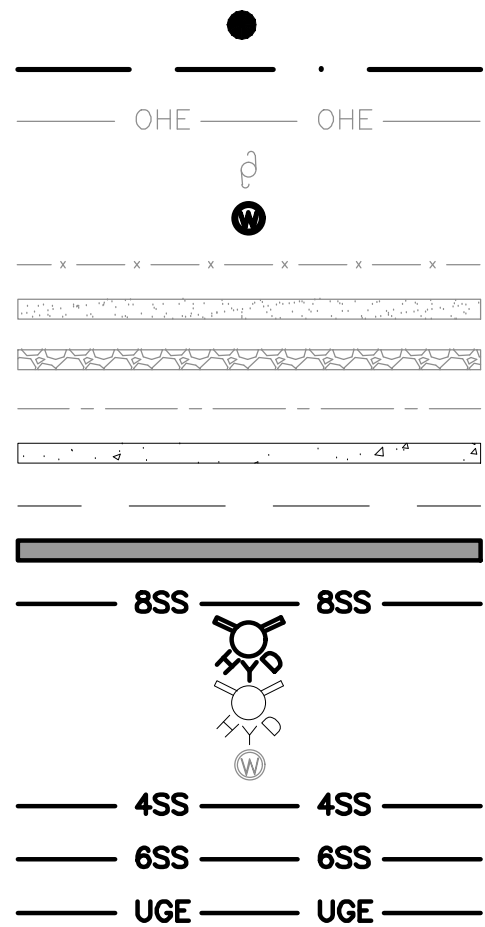
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE APPROPRIATE UTILITY AUTHORITIES AND PEA RIDGE WATER UTILITIES (PRWU) AND CONTRACTOR HAS BEEN NOTIFIED BY EXPEDIENT CIVIL ENGINEERING, PLLC.
- DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF PRWU AND EXPEDIENT CIVIL ENGINEERING, PLLC.
- ALL WATER AND SEWER MAINS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED BY PRWU AND THE ARKANSAS STATE HEALTH DEPARTMENT AND SHALL BE INSPECTED BY PRWU INSPECTOR & EXPEDIENT CIVIL ENGINEERING, PLLC.
- ALL WATER MAINS SHALL BE PVC, C-900, DR-14, SANITARY SEWER FORCEMAINS SHALL BE PVC, SCH 40 SOLVENT WELD AND ALL SANITARY SEWER MANHOLES ARE 4' DIAMETER UNLESS NOTED.
- SANITARY SEWER SERVICES SHALL BE PVC SDR-26.
- ALL FILL UNDER UTILITY LINES SHALL BE COMPACTED IN 6 INCH LIFTS COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- ALL DENSITY TESTING REPORTS ARE TO BE FORWARDED TO PRWU, EXPEDIENT CIVIL ENGINEERING, PLLC, AND THE CONTRACTOR.
- EVERY SANITARY SEWER MANHOLE SHOULD BE VACUUM TESTED AS WORK PROGRESSES.
- WATER MAINS AND SANITARY SEWERS SHALL BE CONSTRUCTED AS FAR APART AS PRACTICABLE, AND SHALL BE SEPARATED BY UNDISTURBED AND COMPACTED EARTH. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER LINES AND SEWERS SHALL NOT BE LAID IN THE SAME TRENCH EXCEPT ON THE WRITTEN APPROVAL OF THE ARKANSAS DEPARTMENT OF HEALTH. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWERS MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE AT ITS HIGHEST POINT. IF THIS DISTANCE MUST UNAVOIDABLY BE REDUCED, THE WATER LINE OR THE SEWER LINE MUST BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING. ANY JOINT IN THE ENCASEMENT PIPE IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE MAY BE VENTED TO THE SURFACE IF CARRYING WATER OR SEWER UNDER PRESSURE. WHERE A WATER LINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18 INCHES OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT. EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE ARKANSAS DEPARTMENT OF HEALTH.



NORTH  
SCALE 1"=30'

#### LEGEND

FOUND IRON PIN  
PROPERTY LINE  
EXISTING OVERHEAD ELECTRIC  
EXISTING POWER POLE  
EXISTING WATER METER  
EXISTING FENCE  
EXISTING ASPHALT  
EXISTING GRAVEL ROAD  
EXISTING CENTERLINE OF ROAD  
PROPOSED 5' SIDEWALK  
PROPOSED ASPHALT  
PROPOSED 8" SEWER LINE  
EXISTING HYDRANT  
RELOCATED HYDRANT  
RELOCATED WATER METER  
PROPOSED 4" SEWER SERVICE  
PROPOSED 6" SEWER SERVICE  
PROPOSED UNDERGROUND ELECTRIC



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Date	Comments	Rev

LITTLE HAWKS DAYCARE LARGE-SCALE  
DEVELOPMENT  
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